*** All present are expected to conduct themselves in accordance with our City's Core Values ***

OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department, Committee, Agency, Corporation, Quasi-Municipal Corporation, or sub-unit thereof.

Meeting:	**PLAN COMMISSION OF THE CITY OF WAUSAU**
Date/Time:	**Tuesday, January 21, 2025, at 5:00 PM**
Location:	**City Hall (407 Grant Street, Wausau, WI 54403), Council Chambers**
Members:	Mayor Doug Diny (C), Eric Lindman, Sarah Watson, Lou Larson, Bruce Bohlken, Andrew Brueggeman, George Bornemann

AGENDA ITEMS FOR CONSIDERATION

(All items listed may be acted upon)

1) Approved the meeting minutes for December 21, 2024.

2) Discussion and Possible Action on Approving the Specific Implementation Plan for 700, 804/806, 810, 814, 816 Grand Ave (M+A Design)

3) Next meeting date: Tuesday February 18, 2025 5:00pm

4) Adjournment

Mayor Doug Diny, Chairperson

It is likely that members of, and a quorum of the Council and/or members of other committees of the Common Council of the City of Wausau will be in attendance at the above-mentioned meeting to gather information. **No action will be taken by any such groups.**

Members of the public may view the meeting live or after the fact on the City of Wausau's YouTube Channel: https://tinyurl.com/WausauCityCouncil or live on Cable TV, Channel 981. Any person who wishes to make a public comment but is unable to or does not wish to to appear in person may direct their comment via email samantha.kulig@wausauwi.gov or City Planner: brad.lenz@wausauwi.gov with “PC Public Comment” in the subject line by the start of the meeting. All public comments received, either by email or in person, will be limited to items on the agenda only. Messages related to agenda items received prior to the start of the meeting will be provided to the Committee Chair.

This Notice was Posted at City Hall and Emailed to Local Media Outlets on 01/15/2025 @ 4:00 PM

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in it's services, programs or activities. If you need assistance or reasonable accommodations to participate in this meeting or event due to a disability as defined under the ADA, please call the ADA Coordinator at (715) 261-6622 or email ADAServices@wausauwi.gov to discuss your accessibility needs. We ask that your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours beforehand, the City of Wausau will make a good faith effort to accommodate your request.

PLAN COMMISSION

Time and Date:	The Plan Commission met on Tuesday, December 17, 2024, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.
Members Present:	Mayor Doug Diny, Eric Lindman, Bruce Bohlken, Andrew Brueggeman, George Bornemann.
Staff Present:	William Hebert, Brad Lenz, Andrew Lynch, Randy Fifrick, Samantha Kulig.
Others Present:	Ryan Gallagher, Tim Schmidt, Christine Martens, Alderperson Gary Gisselman.

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Doug Diny called the meeting to order at approximately 5:01 p.m. noting that a quorum was present.

Discussion and possible action approving the meeting minutes for November 26, 2024.

Motion by Bornemann and seconded by Bohlken. Approved 5-0.

PUBLIC HEARING: Discussion on rezoning 327 N 3rd St from a DRMU to DHMU to allow for a restaurant and event space. (Clyde & Co Holdings)

Mayor Diny opened the public hearing.

Christine Martens, resident of 1228 Arthur St and representative of Friends of Wausau Historical Landmark (FWHL). Martens wanted to clarify what was addressed to media regarding this petition. FWHL stated that the H T Cobblery is part of the historic downtown and is, therefore, of interest. Though this building is not a landmark candidate, FWHL believes that the building should be repurposed or revitalized with necessary alteration, if possible, rather than being razed. FWHL recommends developer to consider options, 1 or 2 that was provided in proposal rather option 3 which stated to rebuild current foundation walls which entails razing. FWHL does not disagree on the rezoning but want to bring close attention for the future possibilities of this property.

Alderperson Gary Gisselman, 319 Park Ave addressed that this property does get reviewed by the Historic Preservation Commission due to the property being in the Downtown Historic District.

Ryan Gallagher, owner of 327 N 3rd St, stated that there are in the planning stage currently. The business owner of H T Cobblery which currently occupies this property is looking to retire in the coming months. Gallagher stated that there are renovations to be made for the condition of the building.

Tim Schmidt, project manager from Boldt Company is working with Gallagher on this project. Schmidt explained that one of the reasons for rezoning is to conform with the zoning district. Currently the DHMU allows 4 or more stores, whereas the proposed zoning will conform with our vision of having a 2nd story. Schmidt provided 3 different options for renovating the space. Option 1 and 2 are utilizing the existing masonry that is currently in place and fishing in a structural steel into the facility in order to add on the 2nd level. Option 3 is to remove the masonry walls because we do not know the extent of the structural capacity of those walls currently and the vision is to have new openings but that will lead to potential structural steel and masonry issues. Lots of uncertainty of the masonry makes this project challenging. The vision is to reutilize the existing footings, foundation, and flooring system by reinforcing it with structural columns, but the roof would be removed to add the 2nd level that overlooks the 400-block. The current structure would have to be heavily modified in order to accommodate that, and option 3 provides more flexibility & capability of making thing right, sustainable, and designed-appropriately for that use of space.

Gallagher also stated that there is a lot of asbestos within the building as well.

Mayor Diny closed the public hearing.

Discussion and possible action on rezoning 327 N 3rd St from a DRMU to DHMU to allow for a restaurant and event space. (Clyde & Co Holdings)

Brad Lenz explained that the property is currently zoned as DRMU, but the rest of the block is zoned as DHMU. Lenz also stated the issue with the vision for a 2-story building will not conform to its current zoning DRMU where a minimum of 4-stories is required.

Bornemann asked staff if there is a design standard that must be met for review. Lenz stated that there is a building design standard for all zoning districts, especially commercial zoning districts. For instance, downtown zoning districts must be made of masonry and glass. There is also a review done by the Historic Preservation Commission, but the review is advisory only. The city is able to enforce zoning codes and exterior design standards towards the look of the building.

Bornemann asked staff if there were some intentions years back of having a building 4-or-more-stories on this location. Lenz responded there were conceptual plans and discussion with developers and staff, but it never came to fruition. Bornemann also asked for confirmation that the action is to decide if the proposed zoning district aligns with the neighborhood and the comprehensive plan provided. Lenz confirmed and stated staff recommended approval of rezoning since proposal met those conditions. Lenz also stated that the proposed zoning is slightly more restrictive than the current zoning because it only allows 2-4 stories whereas current allows 4 or more stories.

Lindman asked staff if this will go through Plan Commission again as a general development plan or does this get handled by city staff and city's zoning requirements if this plan goes forward. Lenz responded that if the rezoning is approved by Council, then it will go through staff and follow zoning ordinances; it does not follow the example of a PUD zoning district where it comes back to Plan Commission for review.

Motion by Brueggeman and seconded by Bornemann. Approved 5-0.

Next Meeting Date

Next meeting date: January 21, 2025.

Adjournment

Motion by Bohlken and seconded by Brueggeman. Motion approved unanimously 5-0 and the meeting adjourned at 5:21 p.m.

The Plan Commission is next scheduled to meet at 5:00 p.m. on Tuesday, January 21, 2025.

STAFF REPORT

To: Plan Commission

Prepared By: Andrew Lynch, AICP Asst City Planner

Date: January 14, 2025

REQUESTED ACTION:

Specific Implementation Plan

700 Grand Ave

LOCATION:	700, 804, 806, 810, 814, 816 Grand Avenue
APPLICANT:	M+A Design on behalf of Commonwealth Development
EXISTING ZONING:	**PUD - GDP**
EXISTING LAND USE:	Vacant
SIZE OF PARCEL:	1.15 acres
REQUESTED ZONING:	**PUD - SIP**
PURPOSE:	The petitioner will construct an affordable 50-unit apartment building
OTHER PLANS:	**Strategic Plan** – Thriving Economy. Goal 5: Continue to collaborate with businesses to create a new and improved existing housing stock. **Wausau Metropolitan Housing Assessment 2022** – Pursue new construction of housing of all types and prices.

BACKGROUND INFORMATION:

The City offered these parcels for redevelopment in 2022 and received several responses. Commonwealth Development was the winning project and subsequently applied for state tax credits (LIHTC) to provide the apartments at an affordable rate. The tax credits have been awarded for the proposed building on this site. Commonwealth did work with the city to shift their building to the south to accommodate a buried utility pipe. The GDP was approved by Council in December of 2024.

The purpose of a Specific Implementation Plan (SIP) is to provide for the possible relaxation of certain development standards pertaining to the underlying standard zoning district. These

parcels combine for a challenging site. As noted in the GDP, the petitioner is requesting a rear setback decreased to zero, an increased density above the 36 units allowed in UMU, and an exception in the parking standards to allow 11 fewer spaces than required. See the SIP criteria for approval below with staff comments included.

AMENDMENTS TO ZONING MAP

Criteria for approval. In its review and action an application for a **Planned Development district**, the Plan Commission shall make findings with respect to the following criteria:

1. The proposed Planned Unit Development project is consistent with the overall purpose and intent of this title.
    a. *Yes. Flexibility is needed to utilize this challenging site. The benefits of the development in terms of affordable housing and energy efficiency outweigh the accommodations requested.*
2. The proposed Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistency.)
    a. *Yes. This project is consistent with the Strategic Plan which calls for more housing stock and the Housing Assessment of 2022 which recommends the construction of housing of all types and prices.*
3. The proposed Planned Unit Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
    a. *Yes. Apartment buildings are located near this site in three directions. Keeping the use as strictly residential is preferred since a commercial/retail development could generate more turning traffic at all hours of the day.*
4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Unit Development project, including but not limited to public sewer and water and public roads.
    a. *Yes. There are adequate public utilities available for the site. Traffic volume and turning traffic has been noted as a concern but both Thomas St and Grand Ave currently operate below their maximum capacity. It is expected that residents and building management will find the best parking and route accommodation for each person as needed.*
5. The proposed Planned Unit Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities.
    a. *Yes. The landscaping plan shows adequate screening of the surface parking lot as well as additional trees on the east side of the building. The east side is setback and additional 20' to accommodate future road expansion. Plans do need to show adequate fencing of the trash corral.*
6. The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site.
    a. *Yes. The site is bordered by a railroad, and two major roads. The adjacent areas that are wooded will not be disturbed. Landscaping improvements to the finished site will likely be more appealing than the current empty parcel.*
7. The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development.

a. *Yes. The proposed plan meets the City urban design standards and will provide an aesthetically pleasing identity that is different than other development in the area but maintain a uniqueness.*

8. The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.

    a. *Yes. Due to the shift of the building south and the 20' setback from Grand Ave, there is room available for any roadway or intersection changes. Development of the other corners is not as likely as they are Parks or city facilities.*

9. The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions/base standard modifications variation of any standard or regulation of this title.

    a. *Yes. The developer will use energy efficient appliances, windows, lighting, and furnaces to lower energy consumption. All apartments will be at an affordable rate which is desperately needed in the Wausau area. In addition, the landscaping will help turn a barren lot into an aesthetically pleasing area.*

10. For Planned Unit Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

    a. *N/A. This will be a single-phase build.*

PUD CRITERIA

Staff are satisfied that, after reviewing the included materials from the petitioner, the criteria for a SIP for the PUD have been met by this proposal.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the Specific Implementation Plan.

COMMITTEE ACTION

Plan Commission may approve or deny.

M+A
24 South Brooke Street, Fond du Lac, WI 54935
Phone: 920.922.8170 | Fax: 920.922.8171
www.madesigninc.net

January 7, 2025

Planning Commission
City of Wausau
407 Grant St.
Wausau, WI 54401

To Whom It May Concern,

In our development you will see an efficient use of the land in addition to the design of the building in our plan, which captures the feel of the scenic riverfront area of Wausau and makes it an alluring place residents can call home. Commonwealth Development prides itself on communicating with the city and neighbourhood throughout the development process, incorporating features that are important to the community while maintaining project feasibility.

The proposed development of 700 Grand Ave is a single phase, 100% affordable 50-unit development comprised of mid-rise style apartments. It is a parcel that adjoins two high traffic streets, located at the intersection of E. Thomas St. and Grand Ave. The project density for the 1.15 acre site is approximately 43 units per acre with a surface area of 67% impervious. Our site plan consists of two carefully considered entryways, one onto E. Thomas St. and the other at Grand Ave. to combat traffic volume concerns. Commonwealth and the architect, M+A Design, has and will continue work with the City on the overall layout of the site to help mitigate any concerns regarding traffic volume. This development will properly allow future pedestrian use and traffic improvements. In accordance with the Urban Design Standard created by the City of Wausau, the development will consist of sidewalks on all streets adjoining the development. Most of the first-floor units will have a ground floor private entrance that will allow access to the sidewalks to increase the connectivity of the site.

To ensure accessibility for all demographics, the building will feature an elevator and underground parking. This feature welcomes the opportunity for elderly or persons with mobility issues to occupy our units. Our unit mix was constructed so that it accommodates a variety of social and economic population groups. The project will have (15) one bedroom apartments, (16) two bedroom apartments, and (19) three bedroom apartments to serve the above mentioned demographics. This project will also feature an on-site fitness room, business center, on-site leasing office, and community room. Residents will be able to use these amenitiesas they wish free of charge. Finished with stainless steel appliances, vinyl flooring and trending lighting fixtures, each unit will be comparable to what you would see in a market rate development giving our tenants a sense of pride in their new home.

Commonwealth strives to be energy and eco efficient. Our development will include high efficiency furnaces, low U-value windows, LED lighting, and energy star appliances. These features align with the Wisconsin Green Built Home Program, a nationally recognized green building initiative that reviews and certifies multi-family units that meet sustainable building and energy standards.

M+A
24 South Brooke Street, Fond du Lac, WI 54935
Phone: 920.922.8170 | Fax: 920.922.8171
www.madesigninc.net

The development will offer 44 underground parking stalls along with 30 surface stalls for residents. The exterior of the building will incorporate masonry brick and engineered wood siding that will blend in with the surrounding area while also creating its own identity. As mentioned above, the design of the building will incorporate the Urban Design Standards from the City of Wausau while also taking input from the City and neighborhood. On the exterior of the Grand Avenue side of the development the site will feature flower beds and aesthetically pleasing bushes that will maintain the natural nature of the site.

While we have made our best effort to meet all the zoning requirements, the site poses many challenges that require us to go beyond what is outlined in the zoning code. Our building does not meet all the setback requirements. We are currently under the 10-foot rear yard setback along the western portion of the property, if that is in fact considered the rear of the site. If it is considered a side yard, we would meet the requirements of 0 feet. We exceed the maximum allowable density of 36 units for the UMU zoning district. We are currently sitting at 1.48 parking spaces per unit which is below the zoning requirement.

The approval of the Planned Unit Development (PUD) is sought to enable the construction of a multifamily housing project on this strategically located urban infill site. The proposed project aligns with the city's vision for higher-density housing in underutilized areas and provides a much-needed housing option in this vibrant community. This development features underground parking, which minimizes surface lot usage, enhances urban aesthetics, and promotes efficient land use. The proposed parking ratios are informed by our portfolio data, demonstrating alignment with actual resident needs and the city's recent approvals for comparable developments. These ratios effectively balance functionality and sustainability while maintaining consistency with parking standards recently adopted within the municipality.

The requested setback variances are necessitated by pre-existing constraints related to previously unidentified municipal utilities that restricted land use on portions of the site. These variances will allow for the full utilization of the property while respecting the utility requirements and ensuring the viability of the proposed design. By accommodating these adjustments, the PUD facilitates the transformation of this underutilized parcel into a thoughtfully planned development that contributes to the city’s housing goals, while incorporating modern urban design principles and addressing the unique characteristics of the site.

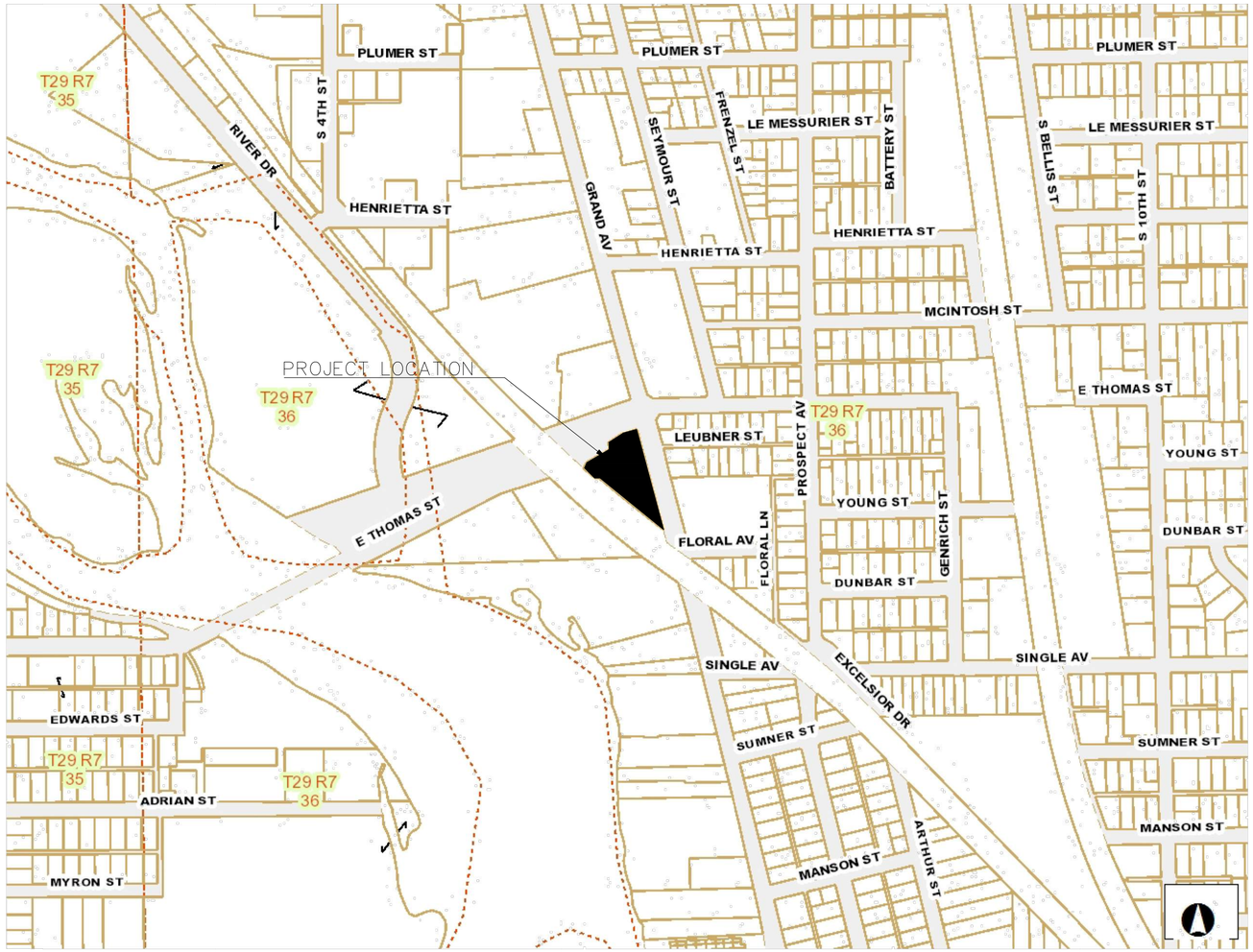
Sincerely,

M+A Design
Ben Marshall, Senior Vice President

ADDRESS:
700, 804, 806, 810, 814, &816 GRAND AVENUE WAUSAU, WI 54403

LOCATION:
LOTS 1–4 OF ASSESSORS PLAT NO. 5, PART OF THE GOV'T LOT 2 OF SECTION 36, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)



LOCATION MAP

SURVEY LEGEND

These standard symbols will be found in the drawing.

- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- BURIED ELECTRIC
- BURIED GAS
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- BURIED TELEVISION
- WATERMAIN
- FIBER OPTICS
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- FENCE LINE
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- STORM MANHOLE
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- UTILITY MANHOLE
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- LIGHTPOLE
- POWERPOLE
- STOP LIGHT
- GUY WIRE
- GAS METER
- GAS VALVE
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- TELEPHONE VAULT
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- FIBER OPTIC MANHOLE
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- AIR CONDITIONING UNIT
- SIGN
- FLAGPOLE
- MAILBOX
- ROOF DRAIN
- MEMORIAL PLAQUE
- BOOK BOX
- LANDSCAPE BOLDER
- STUMP
- HEDGE
- TREE
- PINE TREE

DRAWING INDEX

SHEET C2	EXISTING SITE
SHEET C3	PROPOSED DEMOLITION PLAN
SHEET C4	PROPOSED SITE PLAN
SHEET C5–C5.1	PROPOSED GRADING PLAN
SHEET C6	PROPOSED UTILITY PLAN
SHEET C7	PROPOSED STORMWATER PLAN & DETAILS
SHEET C8	PROPOSED EROSION CONTROL PLAN
SHEET C9	PROPOSED EROSION CONTROL DETAILS
SHEET C10	PROPOSED SITE DETAILS
SHEET C11	PROPOSED STORM DETAILS

PRIVATE UTILITIES NOT LOCATED UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

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FIELD VERIFY WATERMAIN, SANITARY, AND STORM SEWER PIPE SIZE AND LOCATION, SANITARY AND STORM SEWER DEPTH PER CITY OF WAUSAU AS–BUILT.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE.

SCALE NOTE:
IF YOU ARE VIEWING THESE PLANS IN AN 11"x17" SIZE THEY MAY BE HALF SCALE FROM THE ORIGINAL 22"x34" SIZE DRAWING AND THE DRAWING SCALE IS HALF OF THAT STATED. CHECK SCALE.

STAMP/SIGNATURE:
WISCONSIN DUSTIN VREELAND E-46804-6 WESTON, WI PROFESSIONAL ENGINEER

REVISIONS

BY	DATE	DESCRIPTION
DV	12/13/24	BUILDING REVISION

TITLE PAGE: COVER PAGE

PROJECT: GRAND AVE. APARTMENTS

LOCATION: CITY OF WAUSAU
MARATHON COUNTY, WISCONSIN

VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
PHONE NO.: (715) 241–0947
EMAIL: dustin@vreelandassociates.us
WEBSITE: www.vreelandlandsurveying.com

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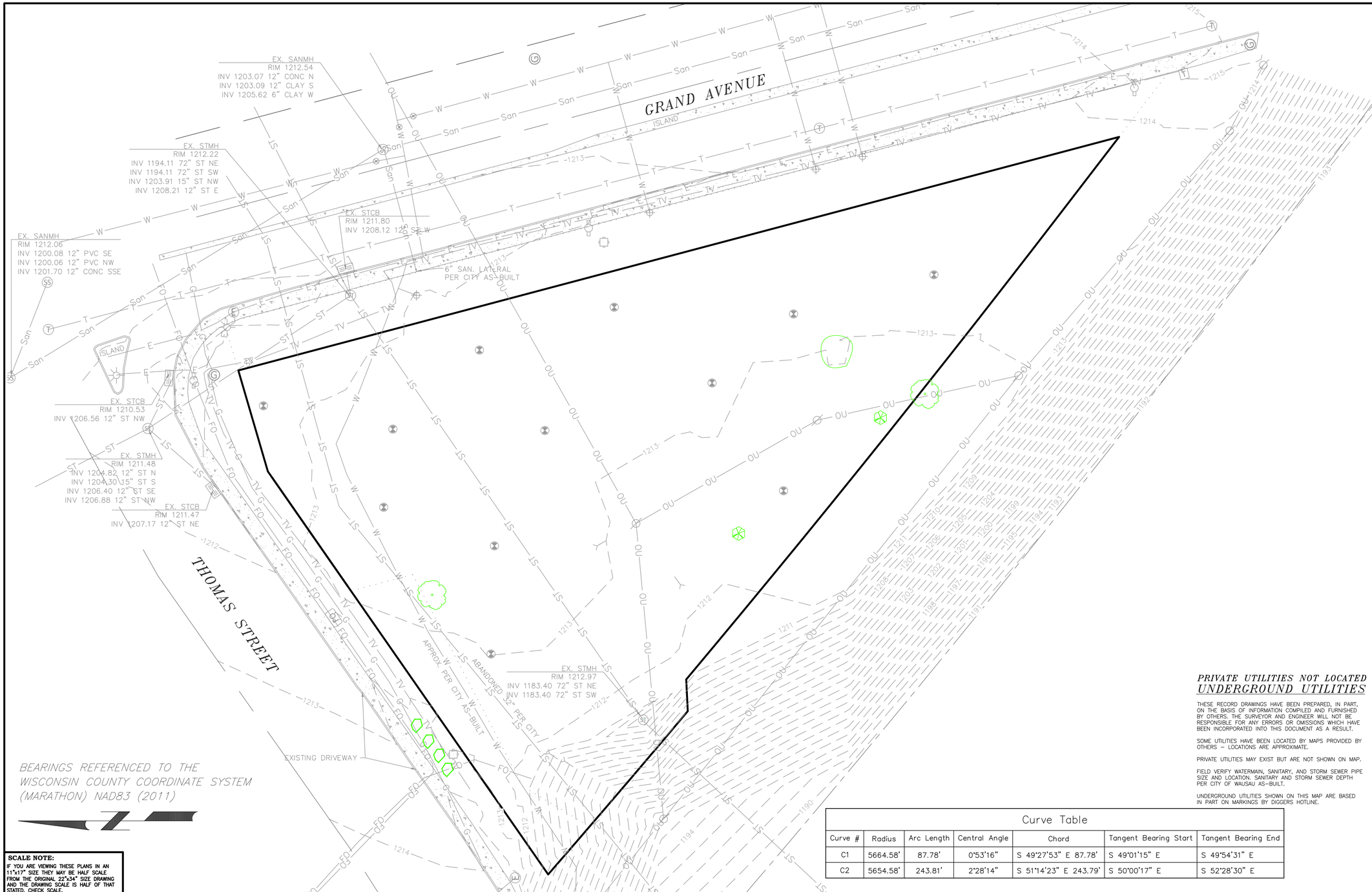
PREPARED FOR: M+A DESIGN, INC.
JOSH SOMMERFELDT

PLAN DATE: JANUARY 6TH, 2024

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: NO SCALE
SHEET C1



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Curve Table

Curve #	Radius	Arc Length	Central Angle	Chord	Tangent Bearing Start	Tangent Bearing End
C1	5664.58'	87.78'	0°53'16"	S 49°27'53" E 87.78'	S 49°01'15" E	S 49°54'31" E
C2	5654.58'	243.81'	2°28'14"	S 51°14'23" E 243.79'	S 50°00'17" E	S 52°28'30" E

SCALE NOTE:
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STAMP/SIGNATURE:

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BY	DATE	DESCRIPTION
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TITLE PAGE: EXISTING SITE

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VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
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PHONE NO.: (715) 241-0947
EMAIL: dustin@vreelandassociates.us
WEBSITE: www.vreelandlandsurveying.com
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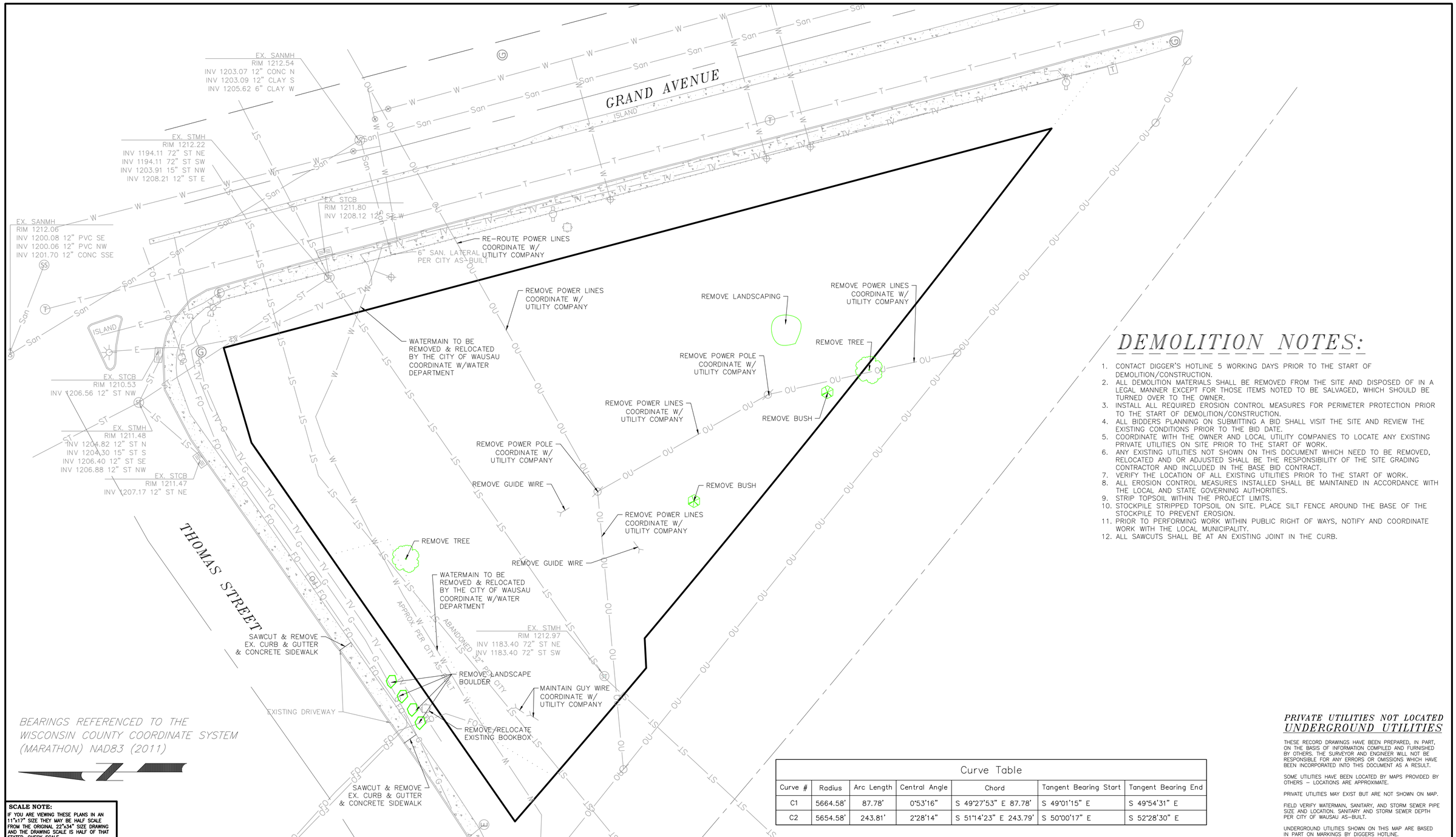
PREPARED FOR: M+A DESIGN, INC.
JOSH SOMMERFELDT

PLAN DATE: JANUARY 6TH, 2024

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: 1" = 20'
SHEET C2



DEMOLITION NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
4. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING PRIVATE UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK.
8. ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
9. STRIP TOPSOIL WITHIN THE PROJECT LIMITS.
10. STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
11. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
12. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB.

Curve Table

Curve #	Radius	Arc Length	Central Angle	Chord	Tangent Bearing Start	Tangent Bearing End
C1	5664.58'	87.78'	0°53'16"	S 49°27'53" E 87.78'	S 49°01'15" E	S 49°54'31" E
C2	5654.58'	243.81'	2°28'14"	S 51°14'23" E 243.79'	S 50°00'17" E	S 52°28'30" E

PRIVATE UTILITIES NOT LOCATED
UNDERGROUND UTILITIES

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STAMP/SIGNATURE:

REVISIONS

BY	DATE	DESCRIPTION
DV	12/13/24	BUILDING REVISION

TITLE PAGE:
PROPOSED DEMOLITION PLAN

PROJECT: GRAND AVE. APARTMENTS

LOCATION: CITY OF WAUSAU
MARATHON COUNTY, WISCONSIN

VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
PHONE NO.: (715) 241-0947
EMAIL: dustin@vreelandassociates.us
WEBSITE: www.vreelandlandsurveying.com
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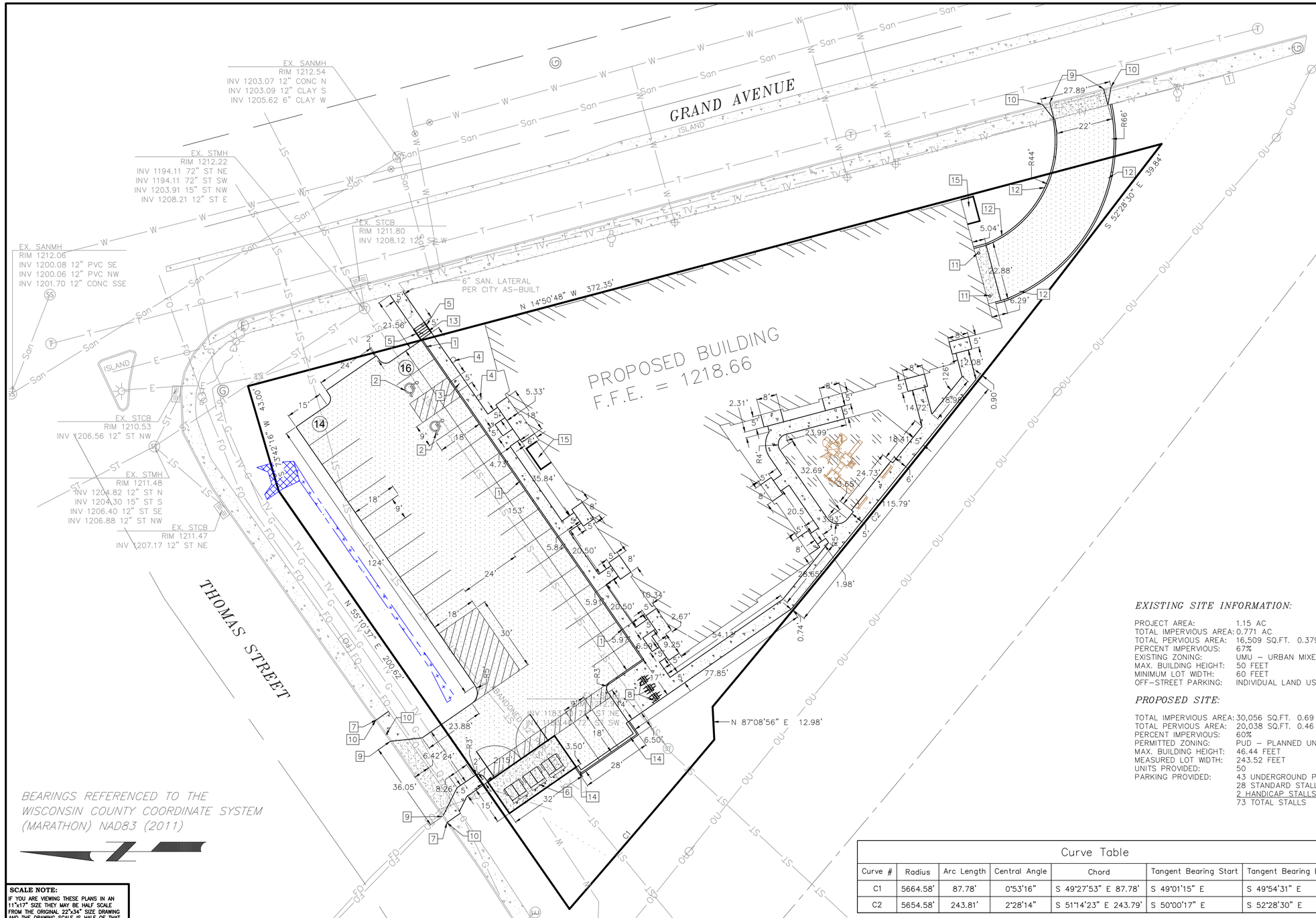
PREPARED FOR: M+A DESIGN, INC.
JOSH SOMMERFELDT

PLAN DATE: JANUARY 6TH, 2024

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: 1" = 20'
SHEET C3



SITE PLAN NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
5. SEE SHEET C7 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
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11. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
12. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
13. RESTORE ALL EXCAVATED LAWN AREAS WITH A MINIMUM OF 6" OF TOPSOIL, SEED, FERTILIZER, AND MULCH
14. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/MULCHED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.

SITE PLAN LEGEND

- 1 — PROPOSED THICKENED EDGE WALK SEE DETAIL 2/C10
- 2 — PROPOSED HANDICAP STALL
- 3 — PROPOSED HANDICAP RAMP SEE DETAIL 4/C10
- 4 — PROPOSED HANDICAP SIGN SEE DETAIL 8/C10
- 5 — PROPOSED HANDRAILS SEE ARCHITECTURAL PLANS
- 6 — PROPOSED DUMPSTER ENCLOSURE W/LIGHTPOLE SEE ARCHITECTURAL PLANS
- 7 — SAWCUT & REMOVE CURB & GUTTER
- 8 — PROPOSED BIKE RACK SEE ARCHITECTURAL PLANS
- 9 — PROPOSED DRIVEOVERABLE CURB SEE DETAIL 5/C10
- 10 — MATCH EXISTING CURB & GUTTER
- 11 — PROPOSED BOLLARD SEE ARCHITECTURAL PLANS
- 12 — PROPOSED RETAINING WALL W/42" TALL GUARDRAIL SEE ARCHITECTURAL PLANS
- 13 — PROPOSED CONCRETE STEPS SEE DETAIL 3/C11
- 14 — PROPOSED REJECT CURB SEE DETAIL 4/C11
- 15 — PROPOSED AREA WELL SEE ARCHITECTURAL PLANS
- PROPOSED 3.5" ASPHALT WITH 10" BASE COURSE SEE DETAIL 1/C10
- PROPOSED 4" CONCRETE WITH 6" BASE COURSE SEE DETAIL 7/C10
- PROPOSED 6" REINFORCED CONCRETE WITH 6" BASE COURSE – SEE DETAIL 3/C10
- PROPOSED PLAYGROUND AREA – POURED IN-PLACE RUBBER BORDER SEE ARCHITECTURAL PLANS
- PROPOSED STORMWATER BASIN SEE SHEET C7 DETAILS
- PROPOSED OVERFLOW WEIR SEE SHEET 1/C11 FOR DETAIL
- PROPOSED NO PARKING AREA
- PROPOSED CROSSWALK
- (14) PROPOSED PARKING LOT STALLS

EXISTING SITE INFORMATION:

PROJECT AREA:	1.15 AC
TOTAL IMPERVIOUS AREA:	0.771 AC
TOTAL PERVIOUS AREA:	16,509 SQ.FT. 0.379 AC
PERCENT IMPERVIOUS:	67%
EXISTING ZONING:	UMU – URBAN MIXED USE
MAX. BUILDING HEIGHT:	50 FEET
MINIMUM LOT WIDTH:	60 FEET
OFF-STREET PARKING:	INDIVIDUAL LAND USE MINUS 25%

PROPOSED SITE:

TOTAL IMPERVIOUS AREA:	30,056 SQ.FT. 0.69 AC
TOTAL PERVIOUS AREA:	20,038 SQ.FT. 0.46 AC
PERCENT IMPERVIOUS:	60%
PERMITTED ZONING:	PUD – PLANNED UNIT DEVELOPMENT
MAX. BUILDING HEIGHT:	46.44 FEET
MEASURED LOT WIDTH:	243.52 FEET
UNITS PROVIDED:	50
PARKING PROVIDED:	43 UNDERGROUND PARKING STALLS 28 STANDARD STALLS 2 HANDICAP STALLS 73 TOTAL STALLS

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UNDERGROUND UTILITIES

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STAMP/SIGNATURE:

REVISIONS

BY	DATE	DESCRIPTION
DV	12/13/24	BUILDING REVISION

TITLE PAGE: PROPOSED SITE PLAN

PROJECT: GRAND AVE. APARTMENTS

LOCATION: CITY OF WAUSAU
MARATHON COUNTY, WISCONSIN

VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
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PREPARED FOR: M+A DESIGN, INC.
JOSH SOMMERFELDT

PLAN DATE: JANUARY 6TH, 2024

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: 1" = 20'
SHEET C4

GRADING PLAN NOTES:

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14. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/MULCHED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
15. GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

1209.79	PROPOSED SPOT ELEVATION
TW=1218.34 BW=1218.01	PROPOSED TOP OF SIDEWALK ELEVATION PROPOSED BOTTOM OF SIDEWALK ELEVATION
1209.77M	EXISTING SPOT ELEVATION (MATCH POINT)
RIM=1209.22	PROPOSED RIM ELEVATION, RIM ELEVATION IN CURB & GUTTER IS AT THE FLOW LINE
TW=1218.34 BW=1218.01	PROPOSED TOP OF CURB PROPOSED FLOW LINE

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TITLE PAGE: PROPOSED GRADING PLAN

PROJECT: GRAND AVE. APARTMENTS

LOCATION: CITY OF WAUSAU
MARATHON COUNTY, WISCONSIN

VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
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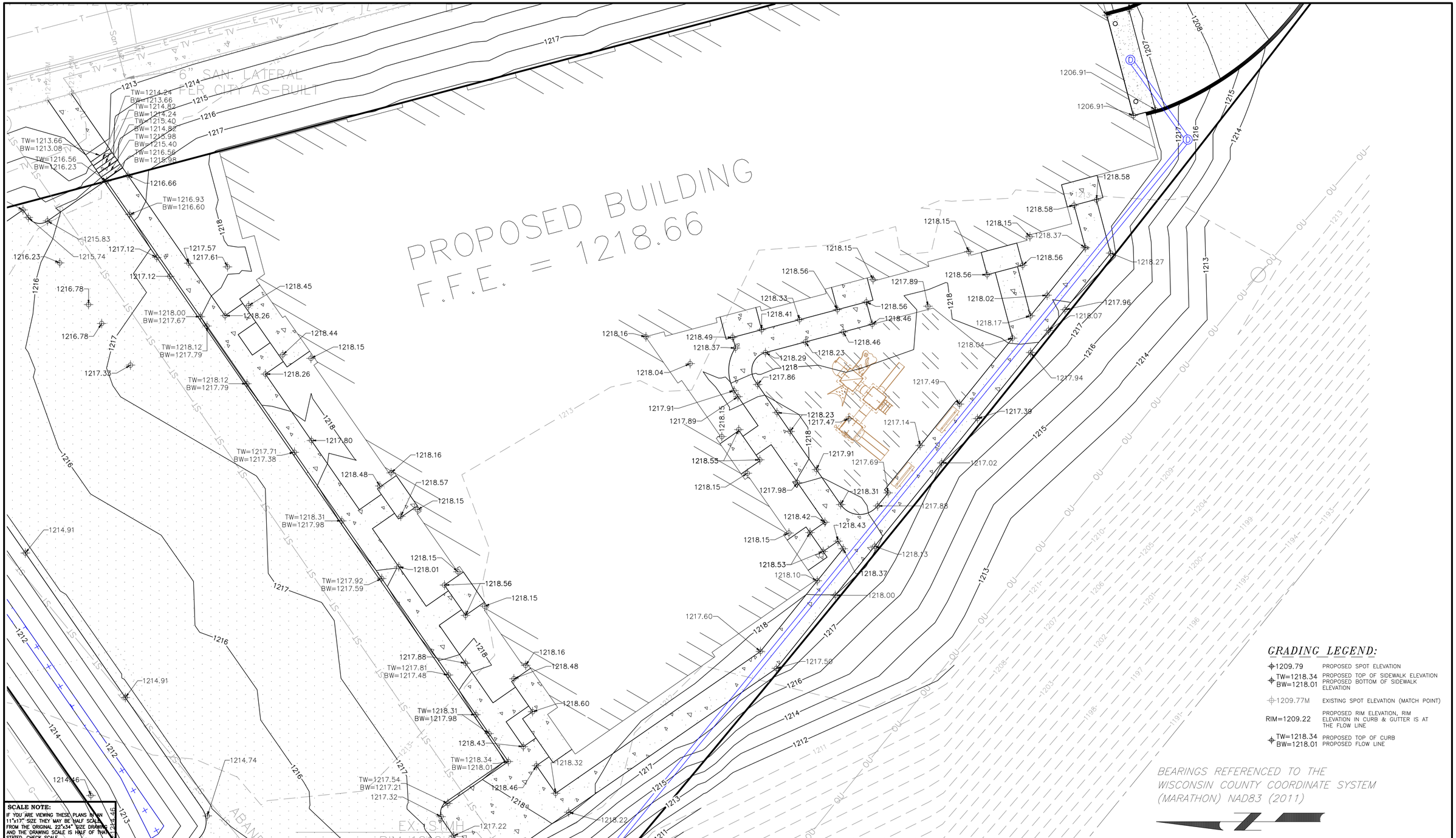
PREPARED FOR: M+A DESIGN, INC.
JOSH SOMMERFELDT

PLAN DATE: JANUARY 6TH, 2024

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: 1" = 20'
SHEET C5



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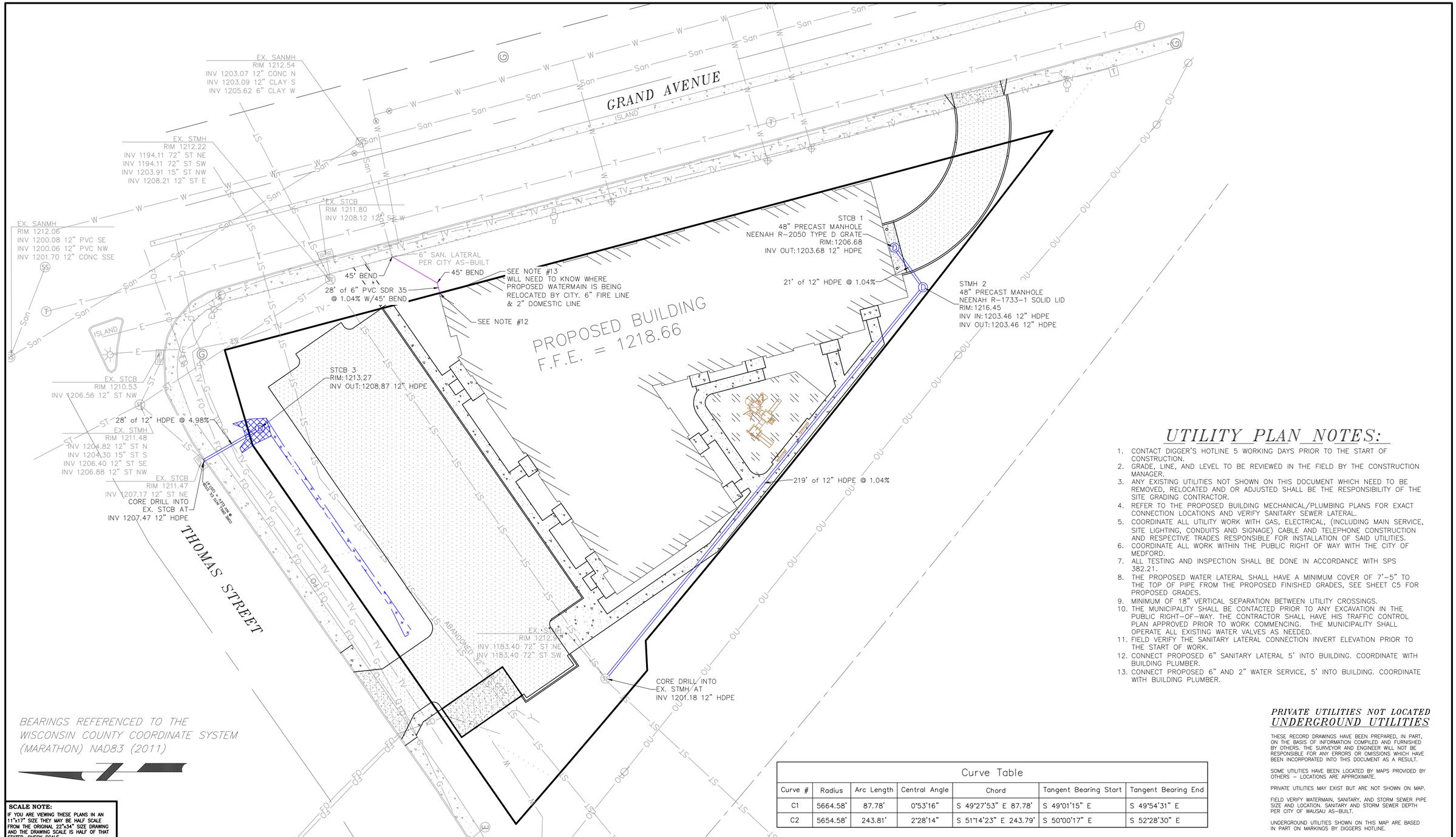
DATE: JUNE 7TH, 2024
SCALE: 1" = 10'
SHEET C5.1



BEARINGS REFERENCED TO THE
WISCONSIN COUNTY COORDINATE SYSTEM
(MARATHON) NAD83 (2011)

UTILITY PLAN NOTES:

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4. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY SEWER LATERAL.
5. COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
6. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE CITY OF MEDFORD.
7. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
8. THE PROPOSED WATER LATERAL SHALL HAVE A MINIMUM COVER OF 7'-5" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C5 FOR PROPOSED GRADES.
9. MINIMUM OF 18" VERTICAL SEPARATION BETWEEN UTILITY CROSSINGS.
10. THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES AS NEEDED.
11. FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.
12. CONNECT PROPOSED 6" SANITARY LATERAL 5' INTO BUILDING. COORDINATE WITH BUILDING PLUMBER.
13. CONNECT PROPOSED 6" AND 2" WATER SERVICE, 5' INTO BUILDING. COORDINATE WITH BUILDING PLUMBER.

Curve Table

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TITLE PAGE: PROPOSED UTILITY PLAN

PROJECT: GRAND AVE. APARTMENTS

LOCATION: CITY OF WAUSAU
MARATHON COUNTY, WISCONSIN

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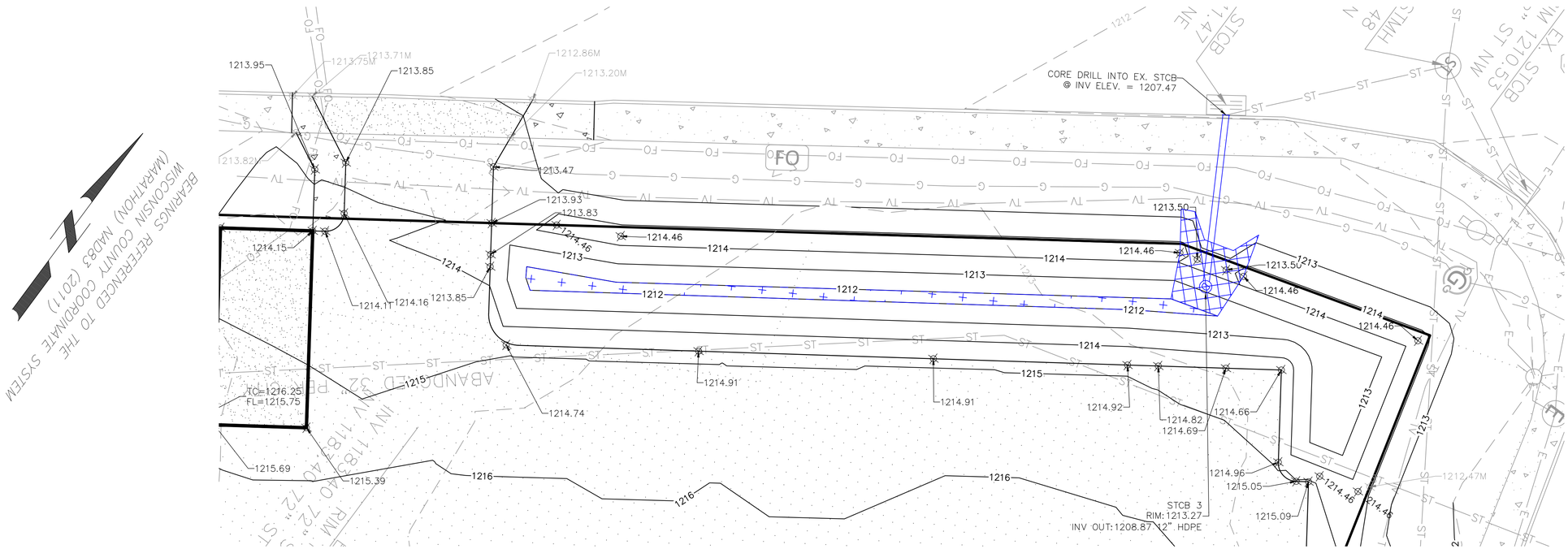
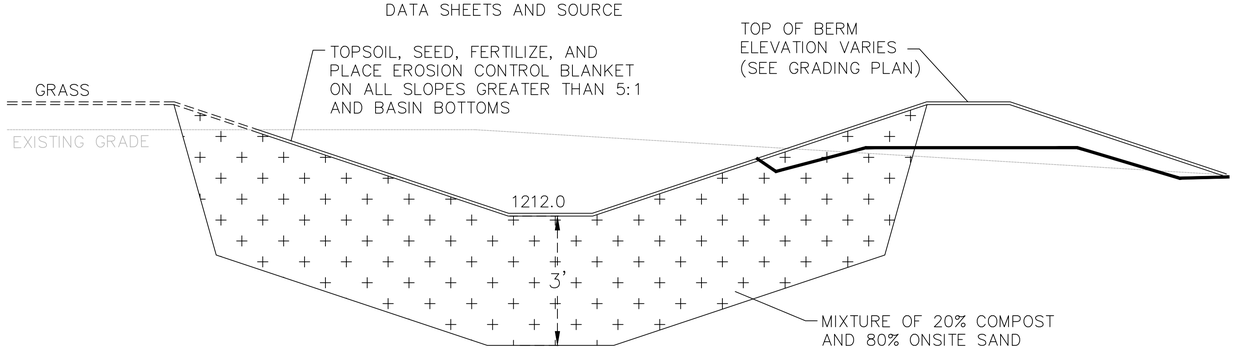
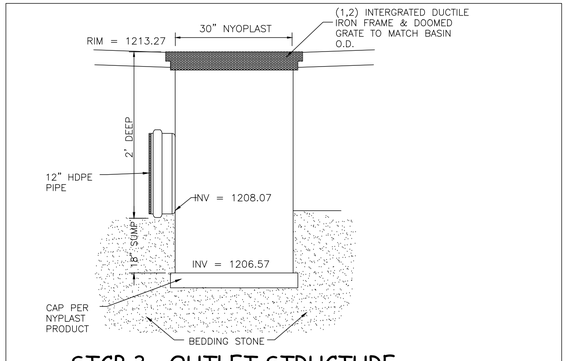
SHEET C6





INFILTRATION BASIN (1209.0 TO 1212.0 ELEVATION) TO BE DRESSED WITH 3' OF 20% COMPOST AND 80% ON-SITE OR IMPORTED COARSE SAND MIX.
SEED WITH PRAIRIE NURSERY "MOIST MEADOW – RAIN GARDEN MIX" PER WDNR TECHNICAL STANDARD 1003. SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (MAY 1 AND JUNE 20) AND WILL NEED A COVER CROP PER WDNR TECHNICAL STANDARD 1059 TABLE 1 – TEMPORARY SEEDING SPECIES AND RATES OR PLUGS SHALL BE USED
AVOID COMPACTION DURING CONSTRUCTION. AFTER CONSTRUCTION, INSTALL A PROTECTIVE FENCE UNTIL CONTRIBUTING AREA IS STABILIZED.
SAND NEEDS TO MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, AND BE WASHED IF USED FOR INFILTRATION BASIN. IF, SAND DOES NOT MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, COARSE SAND WILL NEED TO BE IMPORT. BASED ON SOIL BORINGS COMPLETED BY GESTRA EXCESS FILL HAS BEEN PLACED ON THE SITE. OVER-EXCAVATION MAYBE NECESSARY TO REMOVE PLACED FILL TO MEET THE MINIMUM INFILTRATION STANDARDS.
IF SNOW IS PILED ON THE BASINS, THEN MORE FREQUENT MAINTENANCE OF THE SOILS WILL BE REQUIRED TO MAINTAIN DESIRED PLANT LIFE AND INFILTRATION RATES.

PROPOSED INFILTRATION BASIN 1P



STCB 3 - OUTLET STRUCTURE

NYOPLAST 30" DRAIN BASIN

NOTES:

1 – GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 – FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3 – DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 – DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" – 24").
5 – ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
6 – THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I OR CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE WELL PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

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TITLE PAGE: *PROPOSED STORMWATER PLAN & DETAILS*

PROJECT: *GRAND AVE. APARTMENTS*

LOCATION: *CITY OF WAUSAU*
MARATHON COUNTY, WISCONSIN

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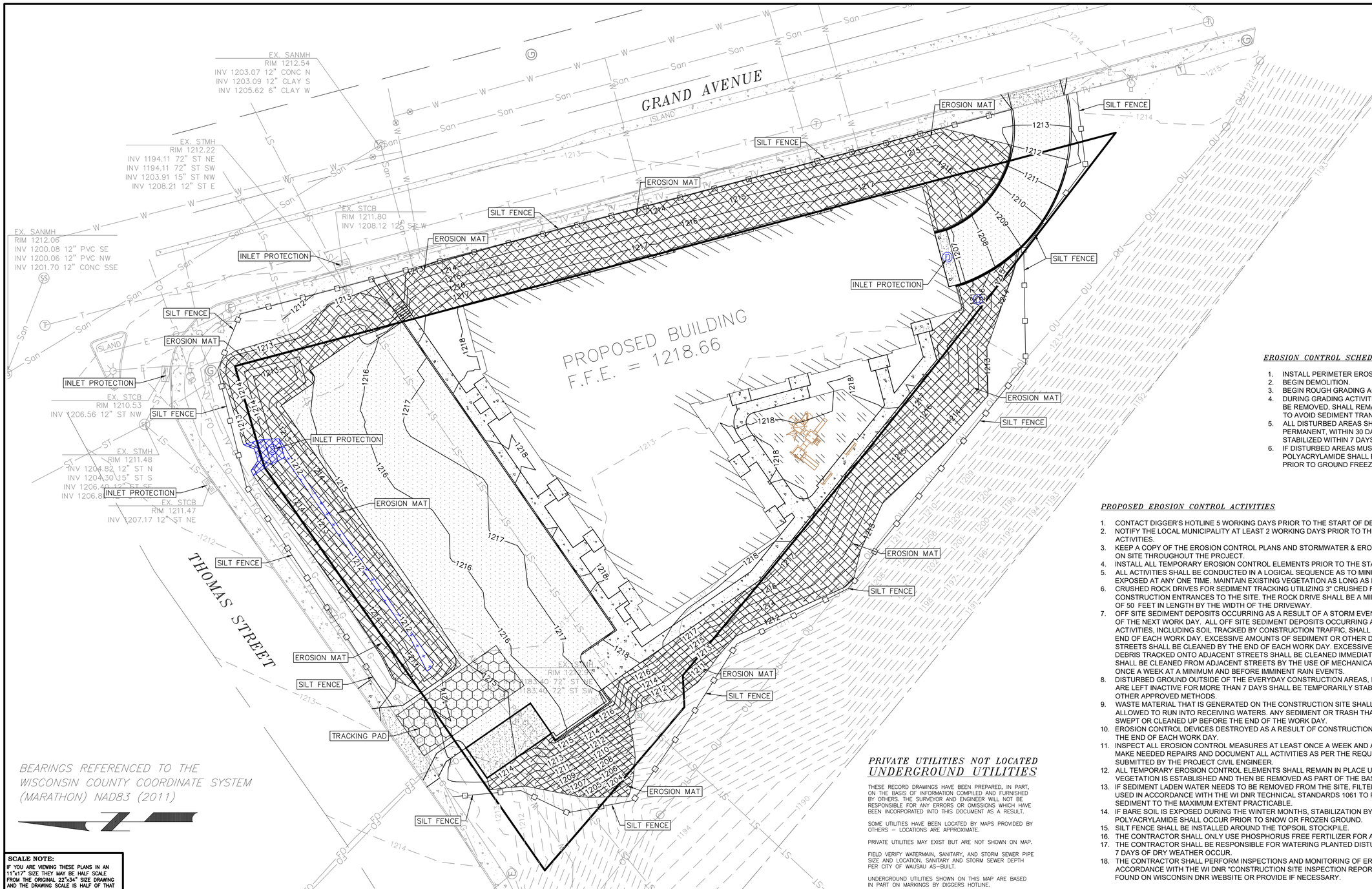
PREPARED FOR: *M+A DESIGN, INC.*
JOSH SOMMERFELDT

PLAN DATE: *JANUARY 6TH, 2024*

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: 1" = 10'
SHEET C7



BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)

SCALE NOTE:
IF YOU ARE VIEWING THESE PLANS IN AN 11"x17" SIZE THEY MAY BE HALF SCALE FROM THE ORIGINAL 22"x34" SIZE DRAWING AND THE DRAWING SCALE IS HALF OF THAT STATED. CHECK SCALE.

EROSION CONTROL SCHEDULING

1. INSTALL PERIMETER EROSION CONTROL.
2. BEGIN DEMOLITION.
3. BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
5. ALL DISTURBED AREAS SHALL BE STABILIZED, TEMPORARILY AND/OR PERMANENT, WITHIN 30 DAYS OF DISTURBANCE, OR PERMANENTLY STABILIZED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
6. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

PROPOSED EROSION CONTROL ACTIVITIES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLTION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. KEEP A COPY OF THE EROSION CONTROL PLANS AND STORMWATER & EROSION CONTROL MANANGEMENT PLAN ON SITE THROUGHOUT THE PROJECT.
4. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
5. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
6. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
7. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
8. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
9. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS. ANY SEDIMENT OR TRASH THAT HAS MOVED OFF-SITE SHALL BE SWEPT OR CLEANED UP BEFORE THE END OF THE WORK DAY.
10. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
11. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
12. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
13. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
14. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
15. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
16. THE CONTRACTOR SHALL ONLY USE PHOSPHORUS FREE FERTILIZER FOR ALL LANDSCAPE APPLICATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PLANTED DISTURBED AREAS WHENEVER MORE THAN 7 DAYS OF DRY WEATHER OCCUR.
18. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND ON WISCONSIN DNR WEBSITE OR PROVIDE IF NECESSARY.

PRIVATE UTILITIES NOT LOCATED
UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS – LOCATIONS ARE APPROXIMATE.

PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP.

FIELD VERIFY WATERMAIN, SANITARY, AND STORM SEWER PIPE SIZE AND LOCATION. SANITARY AND STORM SEWER DEPTH PER CITY OF WAUSAU AS–BUILT.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE.

STAMP/SIGNATURE:

REVISIONS

BY	DATE	DESCRIPTION
DV	12/13/24	BUILDING REVISION

TITLE PAGE: *PROPOSED EROSION CONTROL PLAN*

PROJECT: *GRAND AVE. APARTMENTS*

LOCATION: *CITY OF WAUSAU*
MARATHON COUNTY, WISCONSIN

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SHEET C8

GENERAL NOTES:

DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

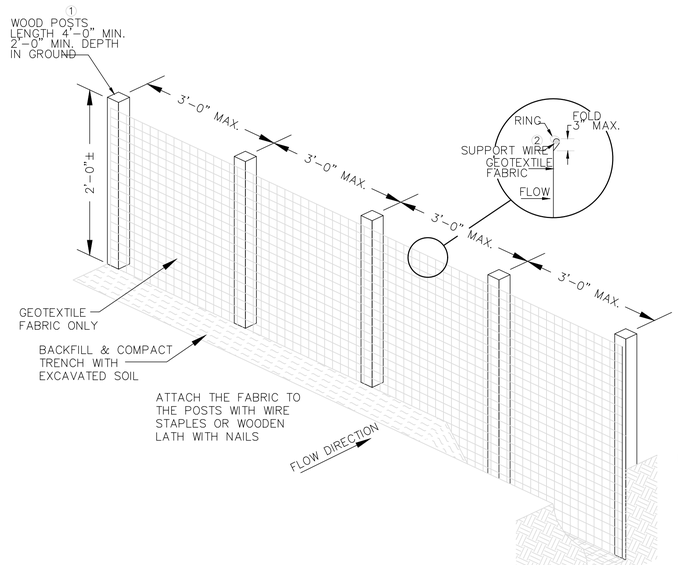
WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL CONDITIONS.

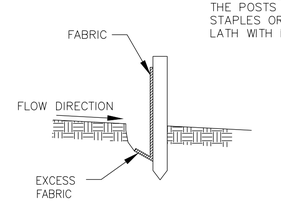
ALTERNATES "A" & "B" ARE EQUAL AND EITHER MAY BE USED.

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

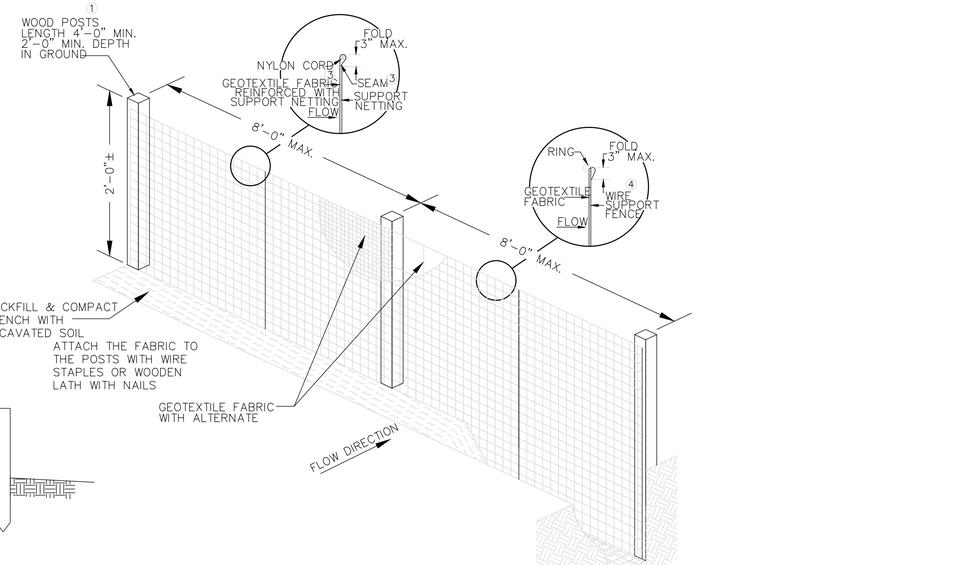
1. STEEL POSTS SHALL BE A STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS/LINEAL FOOT (WITHOUT ANCHOR). FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 1 1/2" X 3 1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE MINIMUM SIZE OF 1 1/8" X 1 1/8" OAK OR HICKORY.
2. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
3. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
4. WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
5. LENGTH NOT LESS THAN THE CIRCUMFERENCE OF THE LARGEST TIRE ON THE CONSTRUCTION EQUIPMENT, PLUS 5 FEET.



SILT FENCE ALTERNATE "A"



TRENCH DETAIL

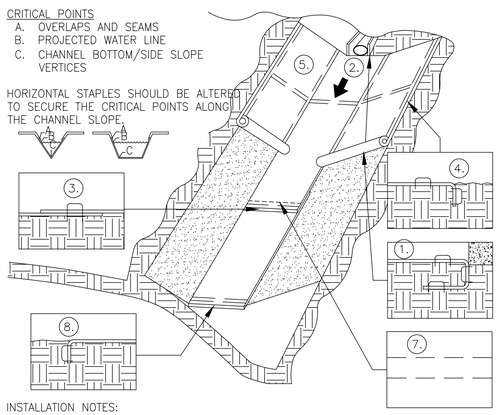


SILT FENCE ALTERNATE "B"

SILT FENCE (1 / C9)

CRITICAL POINTS
- A. OVERLAPS AND SEAMS
- B. PROJECTED WATER LINE
- C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

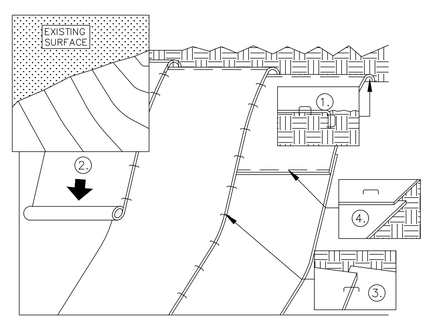
HORIZONTAL STAPLES SHOULD BE ALTERED TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SLOPE.



INSTALLATION NOTES:

1. BEGIN AT THE TOP OF THE CHANNEL SLOPE. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
2. ROLL THE MAT DOWN THE BOTTOM OF THE CHANNEL SLOPING IN DIRECTION OF FLOW.
3. OVERLAP END TO END APPROX. 6" WITH DOUBLE ROW OF STAGGERED STAPLES APPROX. 4" APART.
4. BEGIN AT THE TOP OF THE SIDE SLOPES. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
5. EROSION MAT ON SIDE SLOPES MUST BE MINIMUM OVERLAP OF 4" AND STAPLED.
6. OVERLAP END TO END APPROX. 6" AND STAPLE OVERLAP AREA WITH STAPLES APPROX. 12" APART.
7. IN HIGH FLOW CHANNEL, A STABLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER THE WIDTH OF CHANNEL. PLACE A SECOND ROW OF STAPLES 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
8. IN THE CHANNEL ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.

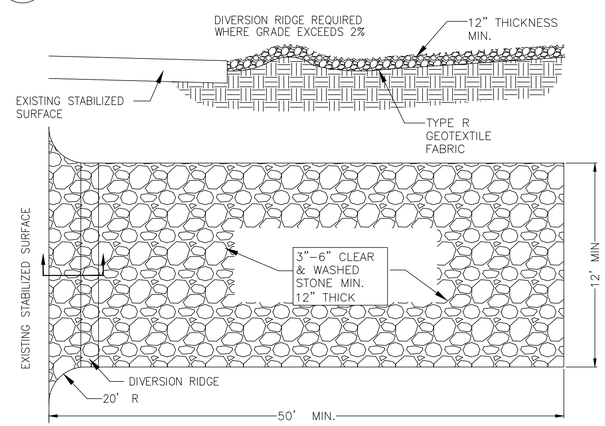
CHANNEL EROSION MAT (2 / C9)



INSTALLATION NOTES:

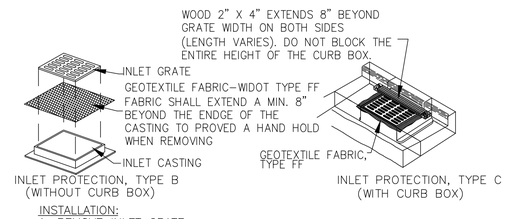
1. BEGIN AT THE TOP OF THE SLOPE. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
2. ROLL THE MAT DOWN THE SLOPE IN DIRECTION OF FLOW.
3. OVERLAP PARALLEL EROSION MAT APPROX. 2". PLACE MAT END OVER END (SHINGLE STYLE).
4. OVERLAP END TO END APPROX. 6" AND STAPLE OVERLAP AREA WITH STAPLES APPROX. 12" APART.

NON-CHANNEL EROSION MAT (3 / C9)



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING. REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. IF TRACKING PAD IS FILLED WITH SEDIMENT REMOVE AND REPLACE AGGREGATE.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL MAXIMUM LENGTH PRACTICABLE.

TRACKING PAD (4 / C9)



INSTALLATION:
1. REMOVE INLET GRATE
2. PLACE FABRIC OVER THE TOP OF THE CASTING
3. PLACE THE GRATE BACK IN PLACE KEEPING A MINIMUM OF 8" OF FABRIC EXTENDING ON ALL SIDES

MAINTENANCE:
CLEAN AS NEEDED TO MAINTAIN FLOW. DO NOT CUT OR RIP FABRIC TO INCREASE FLOWS. USE OF FABRIC WILL CREATE SHORT TERM PONDING OF WATER. DO NOT USE FABRIC INLET PROTECTION IF ADJACENT BUILDINGS OR PROPERTIES MAY BE DAMAGED BY PONDING WATER. ELEVATIONS ON SITE SHALL BE SUCH THAT ANY PONDED WATER WILL HAVE AN EMERGENCY OVERFLOW POINT AWAY FROM AREAS THAT MAY BE DAMAGED BY FLOODING.

GENERAL NOTES:
USE ONLY THE FOLLOWING GEOTEXTILE FABRIC THAT ARE APPROVED BY THE WIDOT FOR USE AS INLET PROTECTION: A) LINQ INDUSTRIAL FABRICS - GTF 403 B) TC MIRAFI FILTERWEAVE 401. FOR INLET PROTECTION, TYPE C, WITH A CURB BOX, AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.

INLET PROTECTION (5 / C9)

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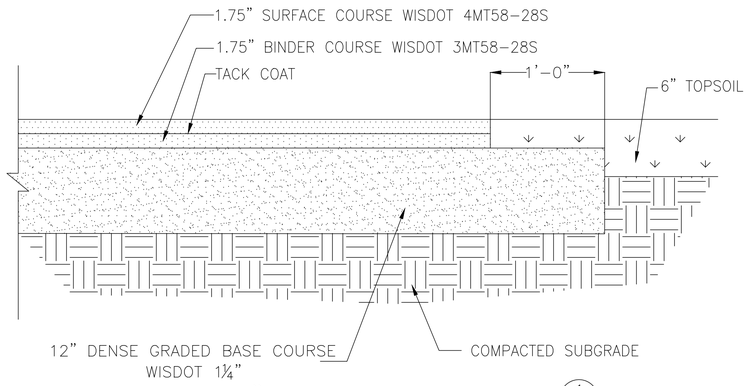
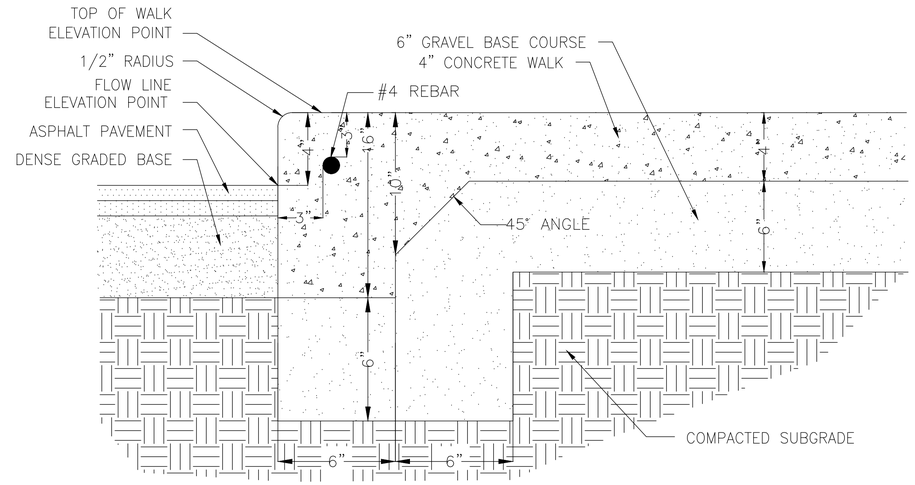
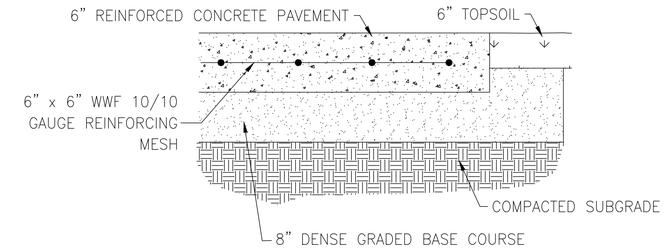


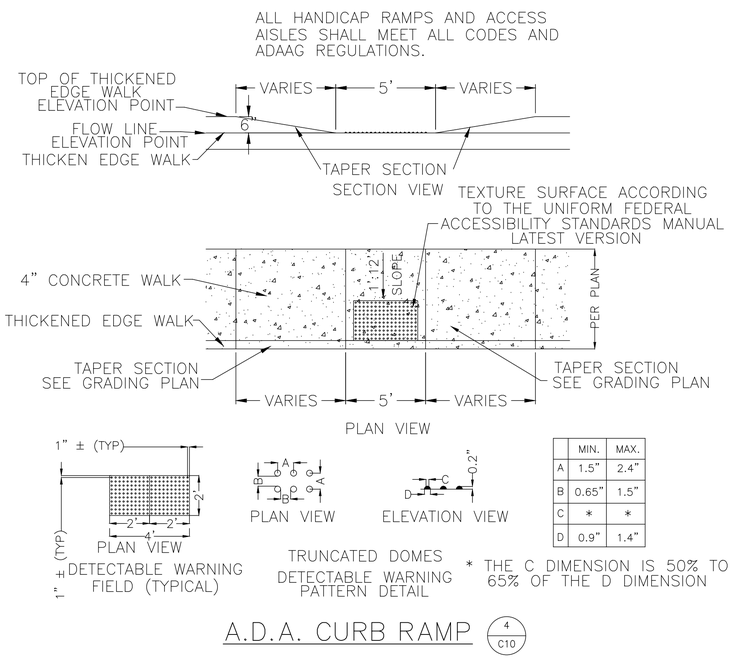
3.5" ASPHALT PAVEMENT (1/C10)



THICKENED EDGE WALK (2/C10)

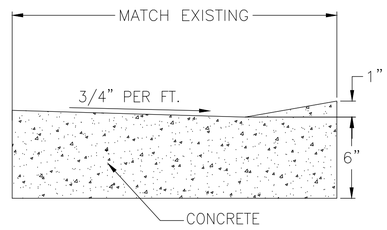


REINFORCED CONCRETE (3/C10)

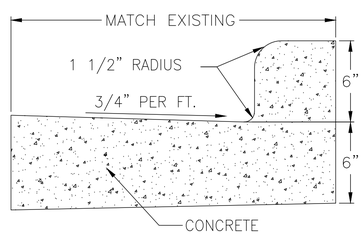


	MIN.	MAX.
A	1.5"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

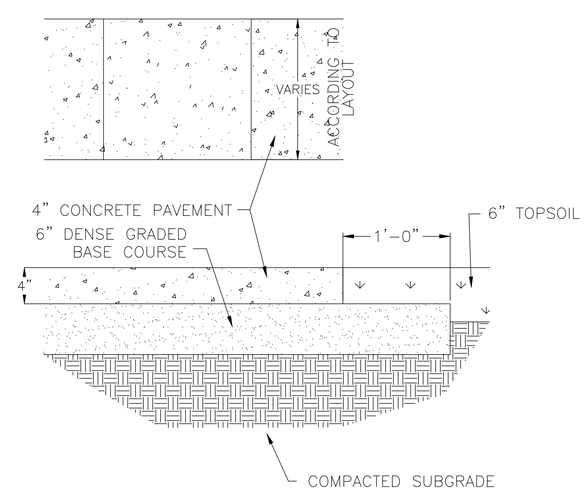
A.D.A. CURB RAMP (4/C10)



DRIVEOVERABLE CURB (5/C11)



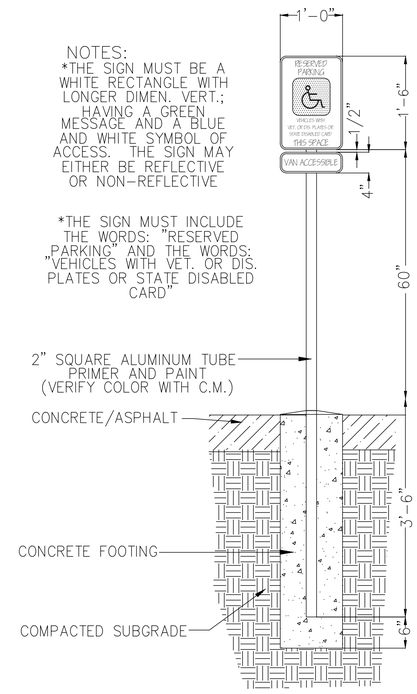
STANDARD CURB (6/C10)



4" CONCRETE WALK (7/C10)

NOTES:
*THE SIGN MUST BE A WHITE RECTANGLE WITH LONGER DIMEN. VERT.; HAVING A GREEN MESSAGE AND A BLUE AND WHITE SYMBOL OF ACCESS. THE SIGN MAY EITHER BE REFLECTIVE OR NON-REFLECTIVE

*THE SIGN MUST INCLUDE THE WORDS: "RESERVED PARKING" AND THE WORDS: "VEHICLES WITH VET. OR DIS. PLATES OR STATE DISABLED CARD"



HANDICAP PARKING SIGN (8/C10)

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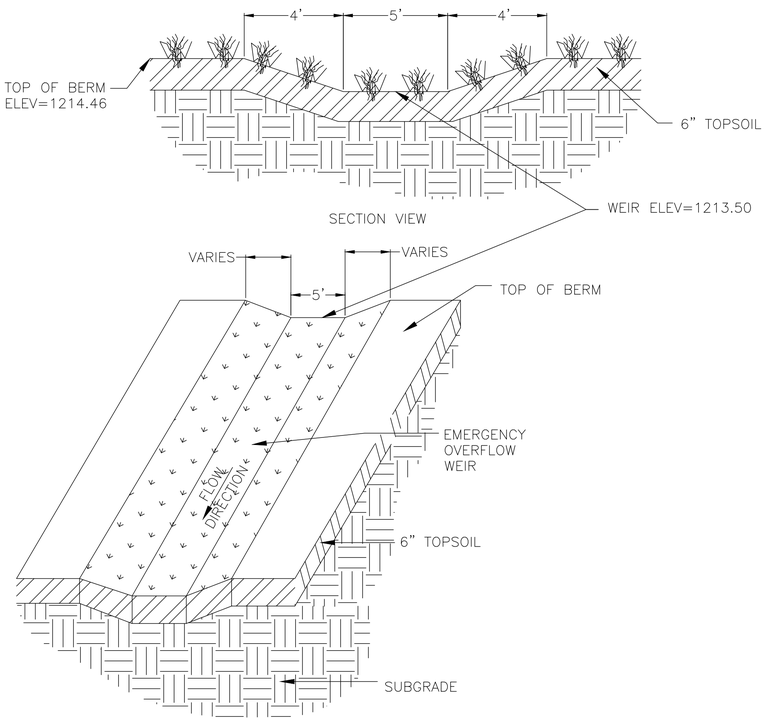
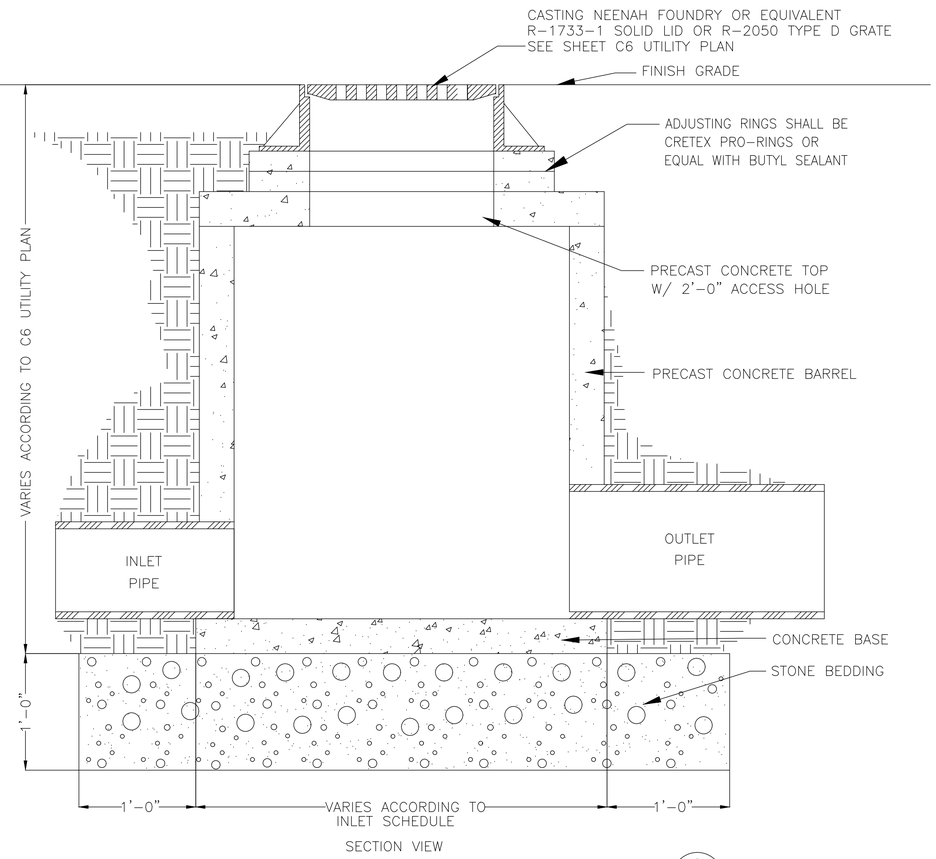
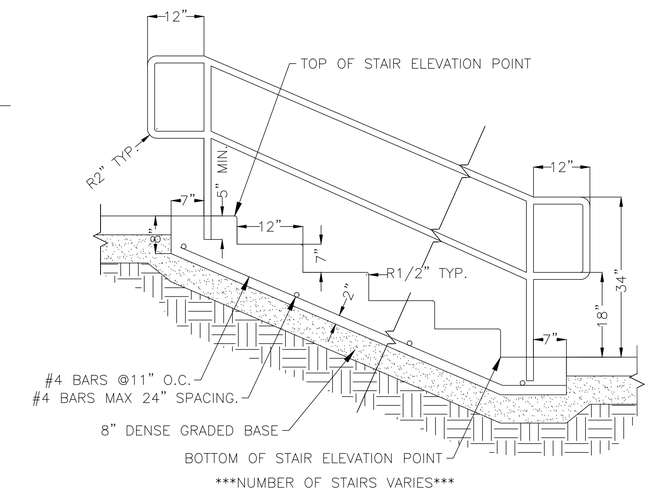


GRASS WEIR (1 / C11)

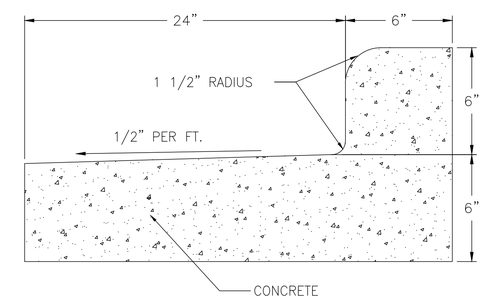


CONCRETE STORM MANHOLE (2 / C11)



NOTES:
1. USE WAGNER COMPANIES SERIES 500 ALUMINUM HANDRAILS OR APPROVED EQUAL.
2. INSTALL HANDRAIL IN ACCORDANCE WITH MANUFACTURE'S REQUIREMENTS.
3. HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF STAIR SYSTEM.
4. HANDRAIL COLOR SELECTION BY OWNER.
5. ANY WELD JOINTS ON HAND RAIL SHALL BE GROUND SMOOTH.

CONCRETE STAIRS (3 / C11)



REJECT CURB (4 / C11)

SCALE NOTE:
IF YOU ARE VIEWING THESE PLANS IN AN 11"x17" SIZE THEY MAY BE HALF SCALE FROM THE ORIGINAL 22"x34" SIZE DRAWING AND THE DRAWING SCALE IS HALF OF THAT STATED. CHECK SCALE.

STAMP/SIGNATURE:

REVISIONS

BY	DATE	DESCRIPTION
DV	12/13/24	BUILDING REVISION

TITLE PAGE: *PROPOSED SITE DETAILS*

PROJECT: *GRAND AVE. APARTMENTS*

LOCATION: *CITY OF WAUSAU*
MARATHON COUNTY, WISCONSIN

VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
PHONE NO.: (715) 241-0947
EMAIL: dustin@vreelandassociates.us
WEBSITE: www.vreelandlandsurveying.com
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PREPARED FOR: *M+A DESIGN, INC.*
JOSH SOMMERFELDT

PLAN DATE: *JANUARY 6TH, 2024*

DESIGNER: DUSTIN VREELAND
SURVEYED BY: DV & CB
FILE NO.: 24-0234 ENGINEERING
DATE: JUNE 7TH, 2024
SCALE: NO SCALE
SHEET C11

Plant List

Sym	Qty	Size		
AR	5	2" BB	Acer rubrum 'Armstrong'	Armstrong Red Maple
AT	1	2" BB	Acer truncatum x Acer plananoides 'JFS-KW202	Crimson Sunset Maple
AG	7	2" BB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
BP	3	2" BB	Betula platyphylla 'Fargo'	Dakota Pinnacle Birch
CC	7	2" BB	Crataegus crus-galli var. inermis	Cockspur Thornless Hawthorn
GB	5	2" BB	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo
MS	3	1.5" BB	Malus 'Shotizam'	Show Time Crab
QC	3	2" BB	Quercus x bimundorum 'Crimschmidt'	Crimson Spire Oak
QB	2	2" BB	Quercus bicolor	Swamp White Oak
BG	9	15-18"	Buxus x 'Green Velvet'	Green Velvet Boxwood
HA	3	15-18"	Hydrangea arborescens 'NCHA5'	Wee White Hydrangea
HP	15	18-24"	Hydrangea paniculata 'SMNHPH'	Little Lime Punch Hydrangea
PO	22	18-24"	Physocarpus opulifolius 'Jefam'	Amber Jubilee Ninebark
PF	7	15-18"	Potentilla fruticosa 'Mckay's White'	McKay's White Potentilla
SD	10	18-24"	Symphoricarpos x doorenbosii 'Kolmcan'	Candy Coralberry
SJ	35	15-18"	Spirea japonica 'Walbuma'	Magic Carpet Spirea
WF	30	15-18"	Weigela florida 'Bokraspiwi'	Spilled Wine Weigela
Ah	39	#1 Cont	Astilbe x arendsii 'Happy Spirit'	Happy Spirit Astilbe
Ck	65	#2 Cont	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
Hh	3	#1 Cont	Hemerocallis 'Happy Returns'	Happy Returns Daylily
Hf	29	#1 Cont	Heuchera 'Fire Alarm'	Fire Alarm Coralbells
Hs	31	#1 Cont	Hosta 'High Society'	High Society Hosta
Ll	8	#1 Cont	Ligularia stenocephala 'Little Rocket'	Little Rocket Ragwort
Nf	19	#1 Cont	Nepeta faassenii 'Novanepjun'	Junior Walker Catmint

Landscape point requirements

Building Foundation 660 lineal feet
40 per 100 feet 270 pts required
Designed points Perennials 142x1=142 Shrubs 83x3=249 Evergreen Shrub 12x2=24
Total designed points 415

Street frontage 665 lineal feet
60 per 100 feet 400 pts required
Tall trees 7x30=210 Medium trees 14x15=210
Total designed points 420

Paved area 12,606 sq feet 34 stalls
40 pts per 10,000 square feet or 40 pts per 10 stalls
Greater of the two above 52 square footage or 136 for stalls
Shade trees 2x60=120 Tall trees 2x30=60 Low trees 2x10=20 Shrubs 25x3=75 Perennials 40x1=40
Total designed points 315

Yards 16,400 square feet
10 points per 1000 square feet 170 points required
Tall Trees 5x30=150 Medium Trees 2x15=30 Medium Shurbs 10x3=30
Total designed points 210

Schalow's Nursery Inc.
2 Miles east of the junction 10-13
10474 Co. Trunk A
Marshfield, WI. 54449
SERVING CENTRAL WISCONSIN SINCE "1965"

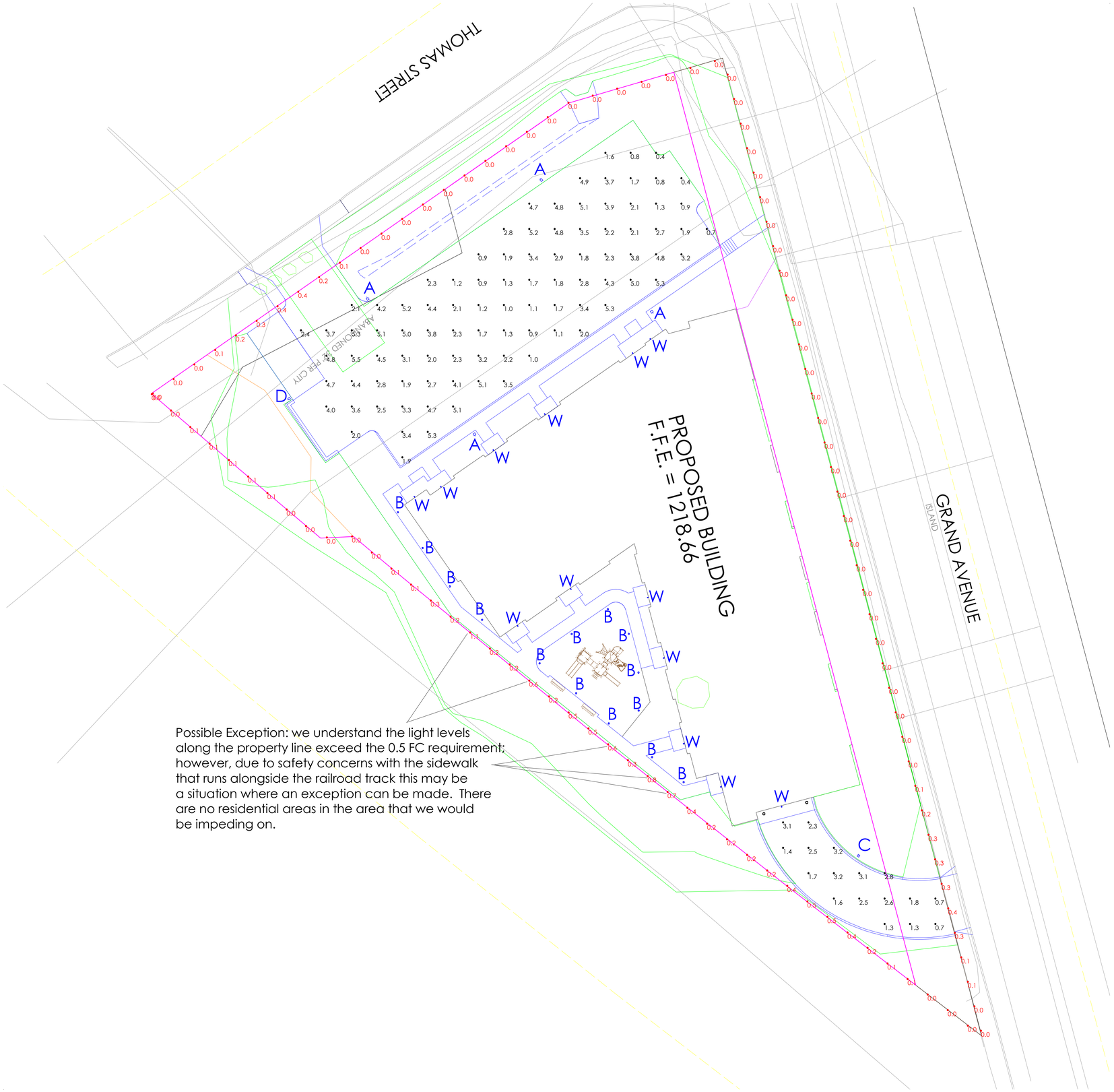
NOTES: LANDSCAPE PLAN

DESIGNER: Gordon S Schalow PLA
PHONE: 591-3478 / 1-800-944-1985 / FAX: 591-5523

NAME: Grand Avenue Apartments
ADDRESS: Corner of Grand and Thomas
CITY: Wausau, Wi.
Designed for M&A Design Inc Att Josh Sommerfeldt

SCALE: 1"=20'-0"
DATE: 12/17/2024

N



Possible Exception: we understand the light levels along the property line exceed the 0.5 FC requirement; however, due to safety concerns with the sidewalk that runs alongside the railroad track this may be a situation where an exception can be made. There are no residential areas in the area that we would be impeding on.

Scale: 1 inch= 19 Ft.

Luminaire Schedule					
Symbol	Qty	Label	Description	Luminaire Watts	Total Watts
	4	A	LED AREA LIGHT WITH INTEGRAL LOUVER SHIELD ON 18' POLE	86	344
	14	B	LED BOLLARD	14	196
	1	C	LED AREA LIGHT ON 18' POLE	39	39
	1	D	LED AREA LIGHT ON 14' POLE	39	39
	13	W	STRATA LED WALL SCONCE	11.8	153.4

Calculation Summary			
Label	Units	Avg	Max/Min
EXIT RAMP	Fc	2.1	4.6
LOT CALCS	Fc	3.0	13.8
PROPERTY LINE CALCS	Fc	0.1	N.A.

To request the Project Quotation for these materials or to place the order, please contact: Sales@LightingDesignSolutions.com or call us at 1-888-357-7070

These plans, schedules, calculations, and lighting concepts are the property of Lighting Design Solutions (LDS) and are not to be shared, reproduced, viewed, or used in any manner without the explicit written permission of LDS. All luminaires and accessories purchased for this project are to be supplied by LDS unless other arrangements that include additional reimbursement for design costs are codified in a pre-approved written agreement with LDS.

These plans are not approved for construction unless specifically noted. They have not been reviewed or approved by any local or state agency, nor has the building owner confirmed final acceptance of the design or materials. Once approved, the final product details, voltages, accessories and quantities are the responsibility of the installing contractor and are to be fully verified by the contractor prior to release of order. Lead time for luminaires will vary but should be assumed to be 4-6 weeks after release unless specifically noted as "in-stock" or "quick ship" on the LDS Project Quotation.

Lighting performance and energy calculations are based on photometric data provided by the specified manufacturers, expected site finishes, anticipated energy costs, current rebate programs, and the projected operational use of the facility. Lighting Design Solutions, Inc. accepts no responsibility for variances resulting from inaccurate or changed data files, drawings, reflectance values, or rebate programs, and guarantees no alternate funding or rebate payment.

Lighting Design Solutions, Inc.

Schofield Office:
PO Box 375
Schofield, WI 54476
Office: 888.357.7070
Fax: 715.693.2594

Milwaukee Office:
955A Walnut Ridge Drive
Hartland, WI 53029
Design@LightingDesignSolutions.com
www.LightingDesignSolutions.com

REV	DESCRIPTION	DATE

DRAWN BY: A. THOMER
REVIEWED BY: A. THOMER
CONTRACTOR:
APPROVED BY:
DATE: 01/06/2024

PROJECT INFORMATION:
NEW CONSTRUCTION
GRAND AVE APT'S
THOMAS ST & GRAND AVE
WAUSAU, WI

TYPICAL FLOOR PLAN NOTES:

- SEE A5 SHEETS FOR ENLARGED UNIT AND COMMON USE PLANS
- ALL EXTERIOR DIMENSIONS ARE FROM FACE-OF-SHEATHING TO FACE-OF SHEATHING UNLESS NOTED OTHERWISE
- ALL INTERIOR DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF STUD UNLESS NOTED OTHERWISE
- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 WOOD STUDS AT 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ ½" GYPSUM BOARD BOTH SIDES - EXTEND TO UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OR DETAILED OTHERWISE (SEE A8 SHEETS FOR ADDITIONAL INFO)
- WHERE AN INTERIOR PARTITION WALL INTERSECTS A RATED DEMISING WALL, THE INTERIOR PARTITION WALL SHALL HAVE A DOUBLE STUD ADJACENT TO THE DEMISING WALL TO MAINTAIN THE INTEGRITY OF THE RATED DEMISING WALL
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING
- VERIFY KEY LOCK BOX REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT

TYPICAL FLOOR PLAN SYMBOLS:

	WALL TYPE - SEE A5 AND A8 SHEETS
R.D.	ROOF DRAIN CONNECTED TO STORM SEWER W/ PVC ADAPTER - SEE CIVIL PLANS
DS1	DOWNSPOUT W/ ROCK LANDSCAPE - SEE CIVIL PLANS
	HEARING / VISUALLY IMPAIRED UNIT
	TYPE 'A' UNIT DESIGNATION
K	KEY LOCK (KNOX BOX)
A	AUTOMATIC DOOR OPENER
INT	VOICE INTERCOM CONNECTED TO UNITS W/ METHOD OF OPENING DOOR
FE	5 LB. FIRE EXTINGUISHER LOCATION W/ CABINET - SEE SHEET A6.1
FE	5 LB. FIRE EXTINGUISHER LOCATION WALL MOUNTED - SEE SHEET A6.1
R.V.	RADON VERTICAL VENT - SEE MITIGATION PLANS FOR DETAILS
FD	FLOOR DRAIN
S.E.C.	CONDUIT FOR FUTURE SOLAR ELECTRIC
BOL.	BOLLARD - SEE DETAIL 10/A3.4
	SECURITY CAMERA LOCATION
AW	ACCENT WALL - SEE INT. FINISH SCHEDULE
	2-WAY COMMUNICATION SYSTEM
FDC	FIRE DEPARTMENT CONNECTION LOCATION - PROVIDE SIGN THE STATES "FIRE SPRINKLER RISER ACCESS" WITH 1" H. RED LETTERS ON WHITE BACKGROUND AT 60" ABOVE GRADE
	HOSE BIB
E	EXIT SIGN LOCATION
	INDICATES WHEDA TYPE 'A' UNIT LOCATION
	INDICATES WHEDA TYPE 'B' UNIT LOCATION
	NEW STUD WALL CONSTRUCTION
	(1) HOUR RATED FIRE PARTITION
	(1) HOUR RATED FIRE BARRIER
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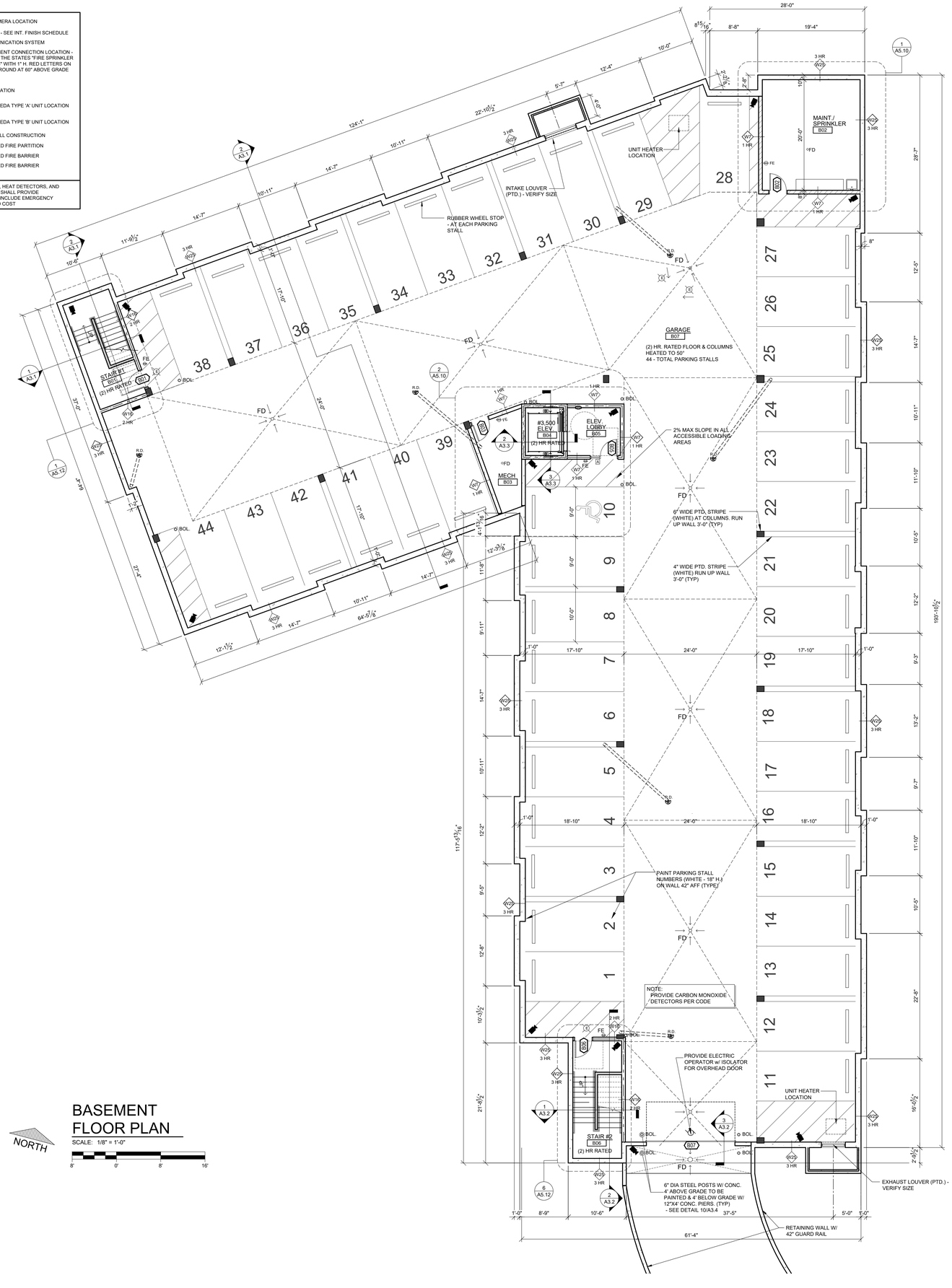
ALL FIRE-ALARMS, SMOKE DETECTORS, HEAT DETECTORS, AND EMERGENCY LIGHTING - CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST



RADON SYSTEM SPECIFICATIONS:

A. REGULATORY REQUIREMENTS
1. SYSTEM SHALL COMPLY WITH LATEST VERSION OF ASTM E1465 "STANDARD PRACTICE FOR RADON CONTROL OPTIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL BUILDINGS"

B. INSTALLATION
1. INSTALL SYSTEM IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
2. INSTALL PIPING IN PLUMBING TRENCH IN AN ORDERLY MANNER, PARALLEL TO FLOOR SLAB - OFFSET PIPE CONNECTIONS AT EQUIPMENT TO ALLOW FOR SERVICE, SUCH AS REMOVAL OF THE EQUIPMENT
3. INSTALL PIPING TO CONSERVE BUILDING SPACE AND NOT INTERFERE WITH USE OF SPACE AND OTHER WORK - GROUP PIPING WHENEVER PRACTICAL AT COMMON ELEVATIONS
4. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT WITH RESPECT TO THE BUILDING AND PLUMBING SYSTEM
5. INSTALL SYSTEM BENEATH SOIL-GAS-RETARDER MEMBRANE PARALLEL TO FLOOR SLAB
6. PROVIDE AIR TIGHT PENETRATIONS THROUGH SOIL-GAS-RETARDER MEMBRANE
7. ALL OPENINGS, GAPS AND JOINTS IN ASSEMBLIES IN CONTACT WITH SOIL SHALL BE FILLED OR CLOSED WITH A PERMANENT AIR TIGHT SEAL, TO INCLUDE SANITARY DRAIN AND VENT SYSTEM, WATER CLOSET FLANGES, BELOW GRADE WATER PIPING, ETC...
8. PITCH PIPE DOWNWARDS TOWARDS FOUNDATION VENTILATION SYSTEM AT 1/8" PER FOOT SLOPE (MIN.)
9. PERFORATED PIPE SHALL BE COVERED WITH GEOTEXTILE CLOTH AND SHALL BE RATED FOR INSTALLATION BELOW GRADE UNDER A BUILDING PER CODE REQUIREMENTS
10. PROVIDE MINIMUM 30" VERTICAL SECTION OF PIPING IN ATTIC SPACE FOR CONVERSION OF PASSIVE SYSTEM TO ACTIVE SYSTEM
11. LABEL PIPE WITHIN 12" OF TOP OF SLAB REGARDLESS OF BEING EXPOSED OR CONCEALED PER REQUIREMENTS ELSEWHERE IN THESE SPECIFICATIONS
12. PROVIDE BIRD SCREEN ON VENT TERMINALS THROUGH ROOF

C. PERFORMANCE REQUIREMENT
1. SYSTEM SHALL REDUCE RADON TO 4 PCI/L OR LESS
2. PERFORM 48 HOUR SHORT TERM TEST OF VENTING SYSTEM AFTER CONSTRUCTION IS COMPLETED
3. IF RADON LEVELS ARE ABOVE 4 PCI/L, PERFORM SECOND 48 HOUR SHORT TERM TEST
4. IF RADON LEVELS ARE ABOVE 4 PCI/L AFTER SECOND TEST, INSTALL SYSTEM VENT FAN, WARNING DEVICE, AND MENOMETER
5. AFTER VENT FAN IS INSTALLED PERFORM 48 HOUR SHORT TERM TEST A MINIMUM OF 30 DAYS AFTER ACTIVATION TO CONFIRM RADON LEVEL OF 4 PCI/L OR LESS

D. ELECTRICAL COORDINATION
1. COORDINATE LOCATION OF VENT PIPES WITH ELECTRICAL CONTRACTOR FOR JUNCTION BOX LOCATION FOR FUTURE VENT FAN

R.V. — RADON VERTICAL PIPING LOCATION CONNECTED TO RADON MAT IN FLOOR SLAB - SEE STRUCTURAL FOR ROUTING ELEC. CONTRACTOR TO PROVIDE JUNCTION BOX AND WIRE IN ATTIC FOR FUTURE INSTALL OF RADON FAN AT EACH VERTICAL

NORTH

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 0' 8' 16'

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
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700 GRAND

700 GRAND AVE.
WAUSAU, WI

JOB NUMBER: 2022.44

SHEET A1.0

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TYPICAL FLOOR PLAN NOTES:

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R.D.	ROOF DRAIN CONNECTED TO STORM SEWER W/ PVC ADAPTER - SEE CIVIL PLANS	AW	ACCENT WALL - SEE INT. FINISH SCHEDULE
DS1	DOWNSPOUT W/ ROCK LANDSCAPE - SEE CIVIL PLANS		2-WAY COMMUNICATION SYSTEM
	HEARING / VISUALLY IMPAIRED UNIT	FDC	FIRE DEPARTMENT CONNECTION LOCATION - PROVIDE SIGN THE STATES "FIRE SPRINKLER RISER ACCESS" WITH 1" H. RED LETTERS ON WHITE BACKGROUND AT 60" ABOVE GRADE
	TYPE 'A' UNIT DESIGNATION		HOSE BIB
K	KEY LOCK (KNOX BOX)		EXIT SIGN LOCATION
A	AUTOMATIC DOOR OPENER		INDICATES WHEDA TYPE 'A' UNIT LOCATION
INT	VOICE INTERCOM CONNECTED TO UNITS W/ METHOD OF OPENING DOOR		INDICATES WHEDA TYPE 'B' UNIT LOCATION
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S.E.C.	CONDUIT FOR FUTURE SOLAR ELECTRIC		
BOL.	BOLLARD - SEE DETAIL 10/A3.4		

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BUILDING SIZE

FLOOR	AREA
LOWER FLOOR	16,320
FIRST FLOOR	16,320
SECOND FLOOR	16,320
THIRD FLOOR	16,320
FOURTH FLOOR	16,320
TOTAL	81,600

BUILDING UNIT COUNT

UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	15
2 - BEDROOM APARTMENT	16
3 - BEDROOM APARTMENT	19
TOTAL	50

FIRST FLOOR UNIT COUNT

UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	1
2 - BEDROOM APARTMENT	4
3 - BEDROOM APARTMENT	8
TOTAL	13

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

PRELIMINARY SHEET DATES:

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
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700 GRAND

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JOB NUMBER: 2022.44

SHEET A1.1

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BOL.	BOLLARD - SEE DETAIL 10/A3.4
	SECURITY CAMERA LOCATION
AW	ACCENT WALL - SEE INT. FINISH SCHEDULE
	2-WAY COMMUNICATION SYSTEM
FDC	FIRE DEPARTMENT CONNECTION LOCATION - PROVIDE SIGN THE STATES "FIRE SPRINKLER RISER ACCESS" WITH 1" H. RED LETTERS ON WHITE BACKGROUND AT 60" ABOVE GRADE
	HOSE BIB
E	EXIT SIGN LOCATION
	INDICATES WHEDA TYPE 'A' UNIT LOCATION
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2 - BEDROOM APARTMENT	16
3 - BEDROOM APARTMENT	19
TOTAL	50

SECOND FLOOR UNIT COUNT

UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	2
2 - BEDROOM APARTMENT	4
3 - BEDROOM APARTMENT	3
TOTAL	9

NORTH

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 0' 8' 16'

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SHEET A1.2

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SECOND FLOOR	16,320
THIRD FLOOR	16,320
FOURTH FLOOR	16,320
TOTAL	81,600

BUILDING UNIT COUNT

UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	15
2 - BEDROOM APARTMENT	16
3 - BEDROOM APARTMENT	19
TOTAL	50

THIRD FLOOR UNIT COUNT

UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	6
2 - BEDROOM APARTMENT	4
3 - BEDROOM APARTMENT	5
TOTAL	15

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

NORTH

8' 0' 8' 16'

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

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JOB NUMBER: 2022.44

SHEET A1.3

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TYPICAL FLOOR PLAN NOTES:

- SEE A5 SHEETS FOR ENLARGED UNIT AND COMMON USE PLANS
- ALL EXTERIOR DIMENSIONS ARE FROM FACE-OF-SHEATHING TO FACE-OF SHEATHING UNLESS NOTED OTHERWISE
- ALL INTERIOR DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF STUD UNLESS NOTED OTHERWISE
- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 WOOD STUDS AT 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ ½" GYPSUM BOARD BOTH SIDES - EXTEND TO UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OR DETAILED OTHERWISE (SEE A8 SHEETS FOR ADDITIONAL INFO)
- WHERE AN INTERIOR PARTITION WALL INTERSECTS A RATED DEMISING WALL, THE INTERIOR PARTITION WALL SHALL HAVE A DOUBLE STUD ADJACENT TO THE DEMISING WALL TO MAINTAIN THE INTEGRITY OF THE RATED DEMISING WALL
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING
- VERIFY KEY LOCK BOX REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT

TYPICAL FLOOR PLAN SYMBOLS:

	WALL TYPE - SEE A5 AND A8 SHEETS
R.D.	ROOF DRAIN CONNECTED TO STORM SEWER W/ PVC ADAPTER - SEE CIVIL PLANS
DS1	DOWNSPOUT W/ ROCK LANDSCAPE - SEE CIVIL PLANS
	HEARING / VISUALLY IMPAIRED UNIT
	TYPE 'A' UNIT DESIGNATION
K	KEY LOCK (KNOX BOX)
A	AUTOMATIC DOOR OPENER
INT	VOICE INTERCOM CONNECTED TO UNITS W/ METHOD OF OPENING DOOR
FE	5 LB. FIRE EXTINGUISHER LOCATION W/ CABINET - SEE SHEET A6.1
FE	5 LB. FIRE EXTINGUISHER LOCATION WALL MOUNTED - SEE SHEET A6.1
R.V.	RADON VERTICAL VENT - SEE MITIGATION PLANS FOR DETAILS
FD	FLOOR DRAIN
S.E.C.	CONDUIT FOR FUTURE SOLAR ELECTRIC
BOL.	BOLLARD - SEE DETAIL 10/A3.4
	SECURITY CAMERA LOCATION
AW	ACCENT WALL - SEE INT. FINISH SCHEDULE
	2-WAY COMMUNICATION SYSTEM
FDC	FIRE DEPARTMENT CONNECTION LOCATION - PROVIDE SIGN THE STATES "FIRE SPRINKLER RISER ACCESS" WITH 1" H. RED LETTERS ON WHITE BACKGROUND AT 60" ABOVE GRADE
	HOSE BIB
E	EXIT SIGN LOCATION
	INDICATES WHEDA TYPE 'A' UNIT LOCATION
	INDICATES WHEDA TYPE 'B' UNIT LOCATION
	NEW STUD WALL CONSTRUCTION
	(1) HOUR RATED FIRE PARTITION
	(1) HOUR RATED FIRE BARRIER
	(2) HOUR RATED FIRE BARRIER

ALL FIRE-ALARMS, SMOKE DETECTORS, HEAT DETECTORS, AND EMERGENCY LIGHTING - CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST

BUILDING SIZE	
FLOOR	AREA
LOWER FLOOR	16,320
FIRST FLOOR	16,320
SECOND FLOOR	16,320
THIRD FLOOR	16,320
FOURTH FLOOR	16,320
TOTAL	81,600

BUILDING UNIT COUNT	
UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	15
2 - BEDROOM APARTMENT	16
3 - BEDROOM APARTMENT	19
TOTAL	50

FOURTH FLOOR UNIT COUNT	
UNIT TYPE	QUANTITY
1 - BEDROOM APARTMENT	6
2 - BEDROOM APARTMENT	4
3 - BEDROOM APARTMENT	3
TOTAL	13

FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 0' 8' 16'

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GENERAL ROOF PLAN NOTES:

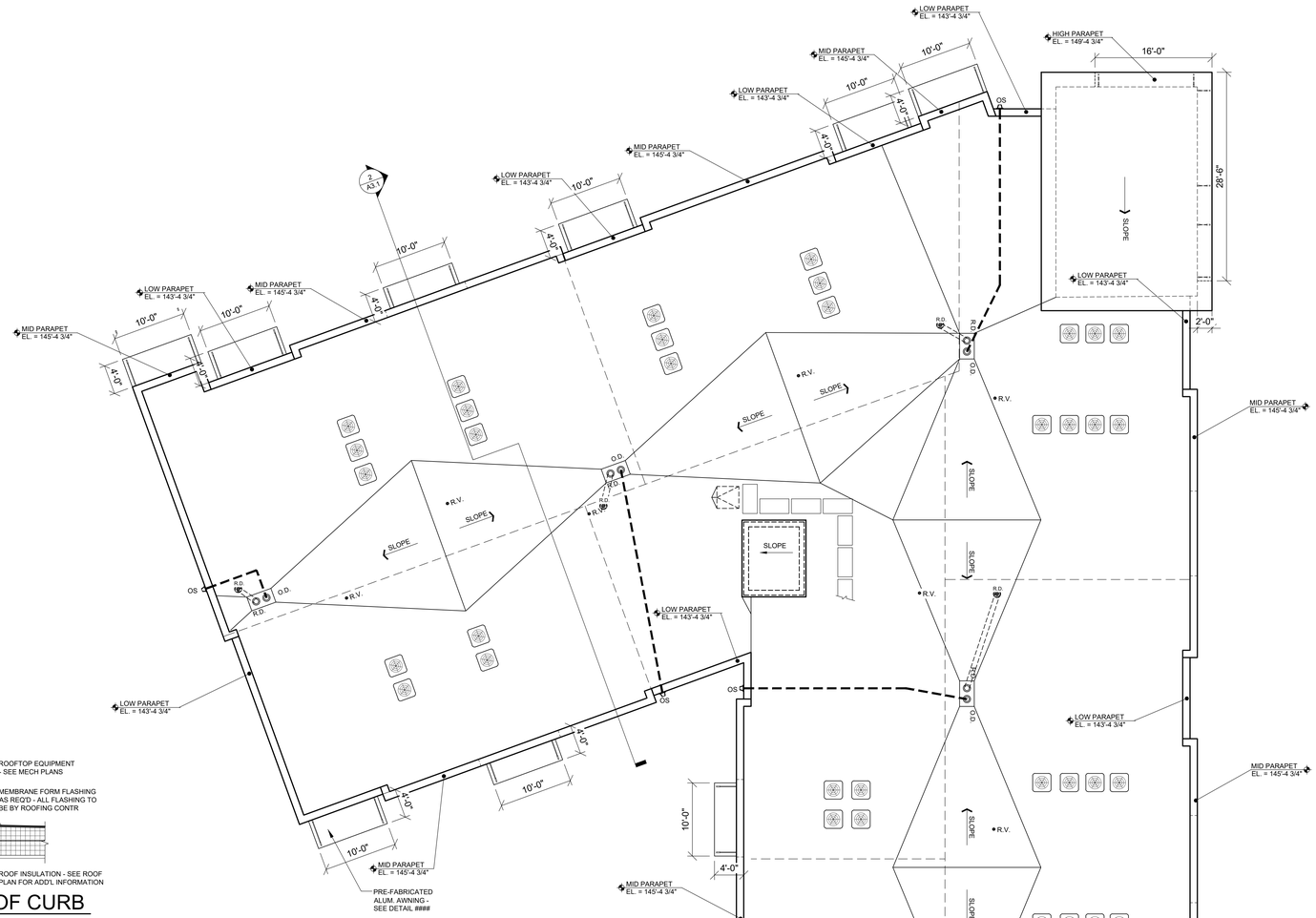
R.D. O.D. = ROOF DRAIN AND OVERFLOW DRAIN LOCATION - SEE DETAIL 2/A1.4a

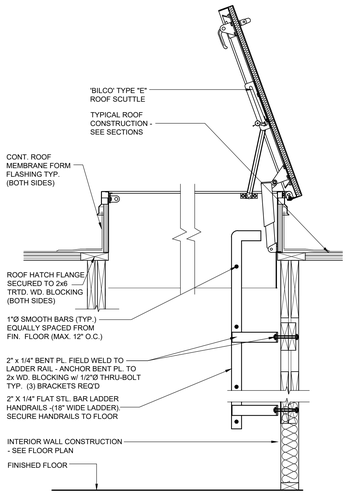
OS = OVERFLOW SCUPPER PIPING

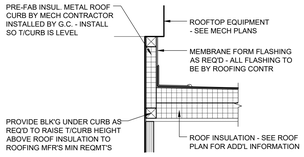
= ROOF SLOPE DIRECTION

R.V. = RADON VERTICAL VENT - SEE MITIGATION PLANS FOR DETAILS

- 60 MIL EPDM MEMBRANE (BLACK) - RIGID INSULATION AS REQ (R-30 MIN) - MIN. 2" AT ROOF DRAINS
- ROOFING CONTRACTOR TO PROVIDE AND INSTALL MEMBRANE FORM FLASHING FOR ROOF PENETRATIONS PER ROOF MEMBRANE MANUFACTURER'S REQUIREMENTS
- SEE MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF ALL ROOF PENETRATIONS AND CURBS REQUIRED FOR MECHANICAL EQUIPMENT
- ROOF PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR



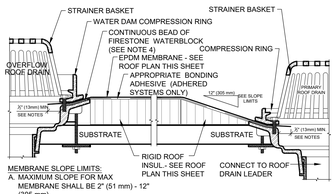




1 A1.5 **TYPICAL ROOF CURB**

NO SCALE

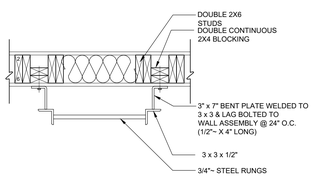
NOTES:
1. HOLE IN MEMBRANE SHOULD EXTEND A MINIMUM OF 1/2"(13 mm) BEYOND CLAMPING RING AND SHOULD NOT BE SMALLER THAN THE DIAMETER OF THE LEADER PIPE.
2. APPROPRIATE INSULATION ADJACENT TO DRAIN TO HAVE APPROPRIATE BONDING SURFACE.
3. WATERBLOCK MIN OF 1/2 OZ (295ML) TUBE PER 4" DRAIN. USE ADDITIONAL WATERBLOCK FOR LARGER DRAINS.

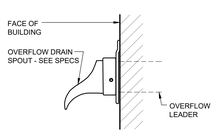


MEMBRANE SLOPE LIMITS:
A. MAXIMUM SLOPE FOR MAX MEMBRANE SHALL BE 2" (51 mm) - 12" (305 mm).
B. MAXIMUM SLOPE FOR STANDARD MEMBRANE SHALL BE 6"(152 mm) -12" (305 mm).

2 A1.5 **TYPICAL ROOF DRAIN**

NO SCALE





3 A1.5 **OVERFLOW SPOUT**

NO SCALE

NORTH

ROOF PLAN

SCALE: 1/8" = 1'-0"

8' 0' 8' 16'

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WINDOW SCHEDULE

MARK	MAT'L	DESCRIPTION	NOM. UNIT SIZE (W x H)
A	VINYL	ADA SINGLE HUNG WINDOW	UNIT: 3'-4" x 5'-2"
B	VINYL	SINGLE HUNG WINDOW	UNIT: 3'-4" x 5'-2"
C	VINYL	ADA SINGLE HUNG WINDOW	UNIT: (2) 3'-4" x 5'-2"
D	VINYL	SINGLE HUNG WINDOW	UNIT: (2) 3'-4" x 5'-2"
E	VINYL	FIXED	UNIT: (2) 3'-0" x 2'-6"
F	VINYL	SINGLE HUNG WINDOW W/ SAFETY GLAZING	UNIT: 3'-4" x 5'-2"
G	VINYL	SINGLE HUNG WINDOW	UNIT: 4'-0" x 5'-2"
H	VINYL	SINGLE HUNG WINDOW	UNIT: (3) 3'-4" x 5'-2"
I	VINYL	FIXED	UNIT: 3'-4" x 5'-2"

GENERAL WINDOW NOTES:

- ENERGY STAR WINDOWS
- PER IBC 2406.4.2 PROVIDE SAFETY GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" OF THE DOOR
- WINDOW MANUFACTURER SHALL REVIEW WINDOW LOCATIONS AND PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY IBC CHAPTER 24
- PROVIDE ADA LIFT HANDLE AT BOTTOM SASH AT ADA WINDOWS - SEE DETAIL 9/A4.1 AND ENLARGED UNIT PLANS FOR LOCATIONS
- SECOND FLOOR AND ABOVE OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090. THE CONTROL DEVICE AFTER OPERATION TO RELEASE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA THAT IS REQUIRED.

EXTERIOR COLOR SCHEDULE

DESCRIPTION	MFR.	COLOR
1 ENGINEERED WOOD PANEL (SMOOTH)	L.P.	RAPIDS BLUE
2 ENGINEERED WOOD PANEL (SMOOTH)	L.P.	ABYSS BLACK
3 ENGINEERED WOOD HORIZONTAL LAP SIDING	L.P.	SNOWSCAPE WHITE
4 ENGINEERED WOOD HORIZONTAL LAP SIDING	L.P.	TIMBERLAND SUEDE
5 BRICK - MODULAR SIZE	COUNTY MATERIALS	STEEL GRAY
PRECAST SILL AND CAP	COUNTY MATERIALS	MATCH ADJACENT BRICK
DOOR, WINDOW AND LOUVER METAL TRIM MOLDING	EASY TRIM	PREFINISHED ALUM
PREFABRICATED ALUM. CANOPY	ENDURABLE	BLACK
PREFABRICATED ALUM. RAILING	ENDURABLE	BLACK
ALUMINUM ENTRY DOORS & STOREFRONTS	KAWNEER	BLACK
FIBERGLASS PATIO SWING DOORS	THERMA TRU	BLACK
VINYL WINDOWS	ALLIANCE	BLACK EXT. / WHITE INT.
ROOF COPING	ALCOA	BLACK/GREY @ BRICK 5 LOCATION
SCUPPERS	PAINTED	MATCH ADJACENT MATERIAL
MISC. LOUVERS AND VENTS	PAINTED	MATCH ADJACENT MATERIAL

EXTERIOR COLOR NOTES:

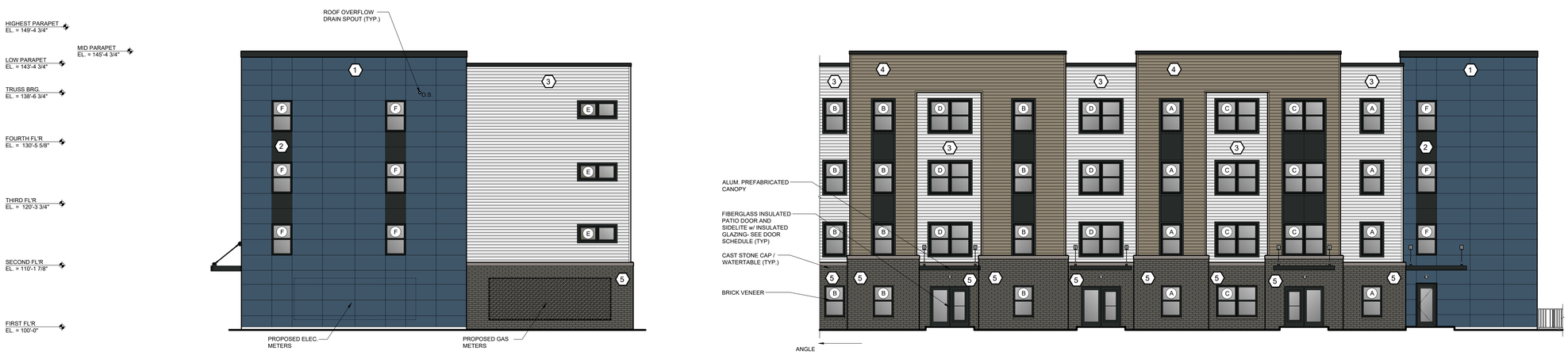
- VERIFY COLORS AND MATERIALS WITH ARCHITECT

GENERAL NOTES:

- ALL PROPOSED ELEC BOXES/ LIGHT FIXTURES, RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS TO EXTERIOR SHALL BE LOCATED IN FLASHED PRIMED AND PAINTED TRIM BOARD TO MATCH ADJACENT MATERIAL COLOR
- AT PROPOSED MECH/ PLUMBING EXHAUST OR INTAKE VENTS TO EXTERIOR WHERE THERE ARE MULTIPLE PENETRATIONS SHALL BE LOCATED IN A FLASHED PRIMED AND PAINTED TRIM BOARD TO MATCH ADJACENT MATERIAL COLOR

EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

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WAUSAU, WI

JOB NUMBER: 2022.44

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WINDOW SCHEDULE

MARK	MAT'L	DESCRIPTION	NOM. UNIT SIZE (W x H)
A	VINYL	ADA SINGLE HUNG WINDOW	UNIT: 3'-4" x 5'-2"
B	VINYL	SINGLE HUNG WINDOW	UNIT: 3'-4" x 5'-2"
C	VINYL	ADA SINGLE HUNG WINDOW	UNIT: (2) 3'-4" x 5'-2"
D	VINYL	SINGLE HUNG WINDOW	UNIT: (2) 3'-4" x 5'-2"
E	VINYL	FIXED	UNIT: (2) 3'-0" x 2'-6"
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G	VINYL	SINGLE HUNG WINDOW	UNIT: 4'-0" x 5'-2"
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GENERAL WINDOW NOTES:

- ENERGY STAR WINDOWS
- PER IBC 2406.4.2 PROVIDE SAFETY GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" OF THE DOOR
- WINDOW MANUFACTURER SHALL REVIEW WINDOW LOCATIONS AND PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY IBC CHAPTER 24
- PROVIDE ADA LIFT HANDLE AT BOTTOM SASH AT ADA WINDOWS - SEE DETAIL 9/A4.1 AND ENLARGED UNIT PLANS FOR LOCATIONS
- SECOND FLOOR AND ABOVE OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090. THE CONTROL DEVICE AFTER OPERATION TO RELEASE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA THAT IS REQUIRED.

EXTERIOR COLOR SCHEDULE

DESCRIPTION	MFR.	COLOR
1 ENGINEERED WOOD PANEL (SMOOTH)	L.P.	RAPIDS BLUE
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ALUMINUM ENTRY DOORS & STOREFRONTS	KAWNEER	BLACK
FIBERGLASS PATIO SWING DOORS	THERMA TRU	BLACK
VINYL WINDOWS	ALLIANCE	BLACK EXT. / WHITE INT.
ROOF COPING	ALCOA	BLACK/GREY @ BRICK 5 LOCATION
SCUPPERS	PAINTED	MATCH ADJACENT MATERIAL
MISC. LOUVERS AND VENTS	PAINTED	MATCH ADJACENT MATERIAL

EXTERIOR COLOR NOTES:

- VERIFY COLORS AND MATERIALS WITH ARCHITECT

GENERAL NOTES:

- ALL PROPOSED ELEC BOXES/ LIGHT FIXTURES, RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS TO EXTERIOR SHALL BE LOCATED IN FLASHED PRIMED AND PAINTED TRIM BOARD TO MATCH ADJACENT MATERIAL COLOR
- AT PROPOSED MECH/ PLUMBING EXHAUST OR INTAKE VENTS TO EXTERIOR WHERE THERE ARE MULTIPLE PENETRATIONS SHALL BE LOCATED IN A FLASHED PRIMED AND PAINTED TRIM BOARD TO MATCH ADJACENT MATERIAL COLOR

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR
- K1 KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD
- K2 BUILT IN DISPOSAL AT DOUBLE SINK
- K3 PROVIDE BLIND CABINET
- K4 ENERGY STAR RATED REFRIGERATOR
- K5 BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

- CL1 CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS
- CL2 ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS
- B1 PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED
- B2 SHOWER HEAD LOCATION
- B3 SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS
- B4 PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

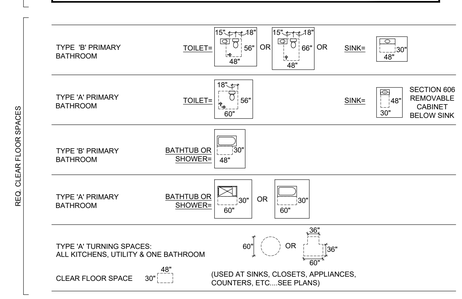
- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

- ME1 ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN
- ME2 SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC
- ME3 SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC
- ME4 ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J
- ME5 ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J
- E1 ENERGY STAR CEILING FAN LOCATION
- E2 PRE WIRE CEILING FAN LOCATION
- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER).
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

- ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES



ALL TRADES

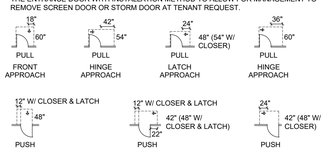
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs), SHALL BE INSTALLED IN ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS: ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9". BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

DWELLING UNIT WHEDA NOTES:

ALL ITEMS APPLY TO ALL WHEDA 'B' UNITS & WHEDA 'A' UNITS -
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

- WH1 PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE
- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- WH2 CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.
- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.
- WH3 PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.
- WH4 PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.
- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.
- WH5 PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.
- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



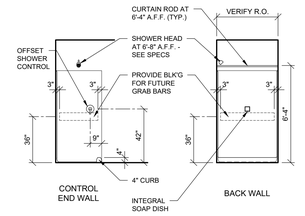
- * WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS). SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.
- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.
- WH6 ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- SC SMOKE / CARBON MONOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

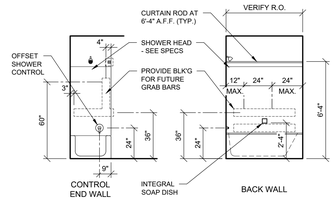
ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.



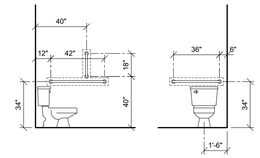
4 A5.0 STANDARD SHOWER ELEVATIONS

SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN TYPE 'B' AND WHEDA 'A' & 'B' UNITS - SEE UNIT PLANS FOR LOCATIONS



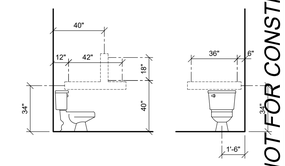
3 A5.0 TUB ELEVATIONS

SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN TYPE 'B' AND WHEDA 'B' UNITS - SEE UNIT PLANS FOR LOCATIONS



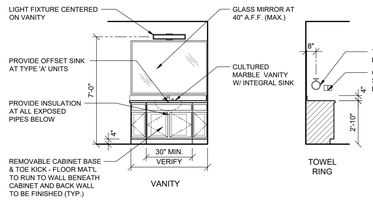
2 A5.0 TOILET GRAB BAR ELEVATIONS

SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN WHEDA 'A' UNITS - SEE UNIT PLANS FOR LOCATIONS



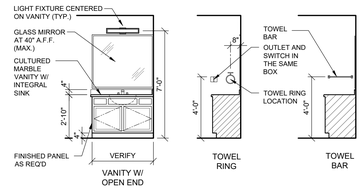
1 A5.0 TOILET GRAB BAR BLK'G ELEVATIONS

SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN TYPE 'B' AND WHEDA 'B' UNITS - SEE UNIT PLANS FOR LOCATIONS



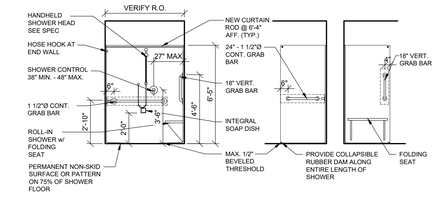
7 A5.0 WHEDA 'A' & 'B' UNIT VANITY ELEVATIONS

SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN TYPE 'A' UNITS - SEE ENLARGED PLANS FOR VANITY LENGTH & LOCATION



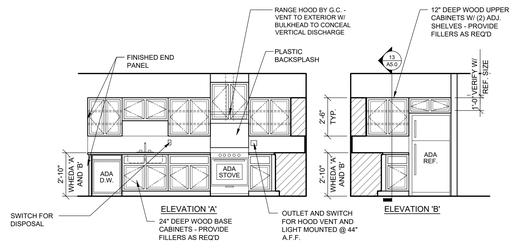
6 A5.0 TYPE 'B' UNIT VANITY ELEVATIONS

SCALE: 1/4" = 1'-0"
SEE UNIT PLANS FOR VANITY LENGTH & LOCATIONS



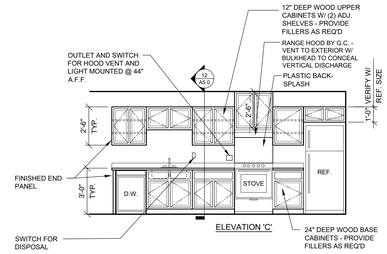
5 A5.0 ROLL-IN SHOWER ELEVATIONS

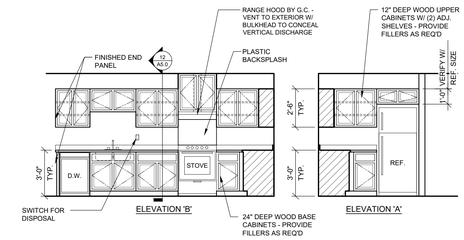
SCALE: 1/4" = 1'-0"
PROVIDE AND INSTALL IN WHEDA 'A' & 'B' UNITS - SEE UNIT PLANS FOR LOCATIONS



9 A5.0 WHEDA 'A' & 'B' UNIT KITCHEN ELEVATIONS

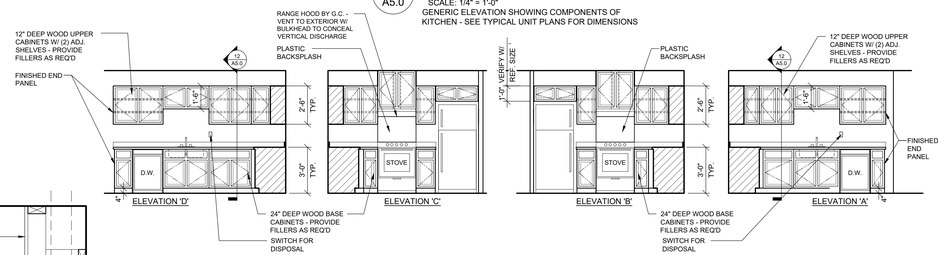
SCALE: 1/4" = 1'-0"
GENERIC ELEVATION SHOWING COMPONENTS OF KITCHEN - SEE TYPICAL UNIT PLANS FOR DIMENSIONS





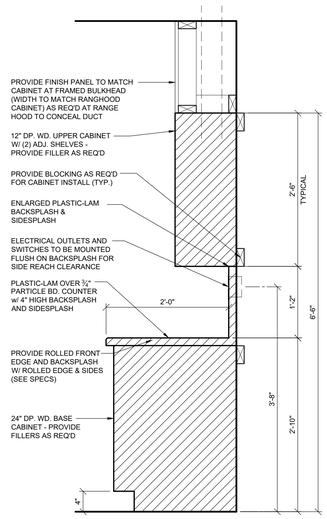
8 A5.0 TYPE 'B' 1-BED UNIT KITCHEN ELEVATIONS

SCALE: 1/4" = 1'-0"
GENERIC ELEVATION SHOWING COMPONENTS OF KITCHEN - SEE TYPICAL UNIT PLANS FOR DIMENSIONS



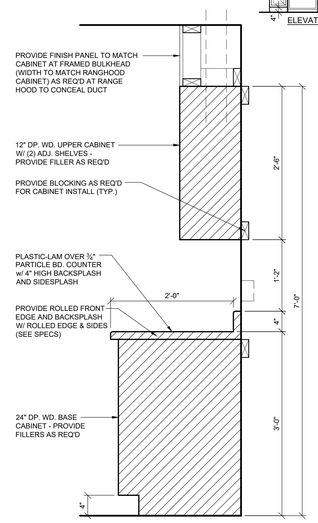
10 A5.0 TYPE 'B' 2 & 3-BED UNIT KITCHEN ELEVATIONS

SCALE: 1/4" = 1'-0"
GENERIC ELEVATION SHOWING COMPONENTS OF KITCHEN - SEE TYPICAL UNIT PLANS FOR DIMENSIONS



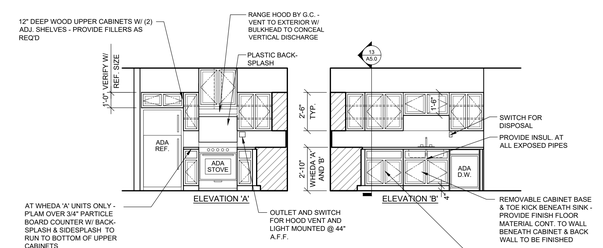
13 A5.0 WHEDA 'A' & 'B' CABINETS

SCALE: 1" = 1'-0"
SEE TYP. UNITS FOR DIMENSIONS AND LOCATIONS



12 A5.0 TYPE 'B' CABINETS

SCALE: 1" = 1'-0"
SEE TYP. UNITS FOR DIMENSIONS AND LOCATIONS



11 A5.0 WHEDA 'A' & 'B' UNIT KITCHEN ELEVATIONS

SCALE: 1/4" = 1'-0"
GENERIC ELEVATION SHOWING COMPONENTS OF KITCHEN - SEE TYPICAL UNIT PLANS FOR DIMENSIONS

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR
- (K1) KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD
- (K2) BUILT IN DISPOSAL AT DOUBLE SINK
- (K3) PROVIDE BLIND CABINET
- (K4) ENERGY STAR RATED REFRIGERATOR
- (K5) BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

- (CL1) CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS
- (CL2) ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS
- (B1) PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED
- (B2) SHOWER HEAD LOCATION
- (B3) SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS
- (B4) PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

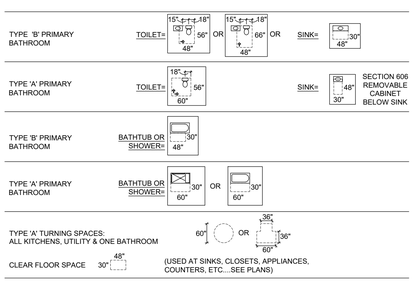
- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

- (ME1) ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN
- (ME2) SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC
- (ME3) SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC
- (ME4) ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J
- (ME5) ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J
- (E1) ENERGY STAR CEILING FAN LOCATION
- (E2) PRE WIRE CEILING FAN LOCATION
- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER);
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

* ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES



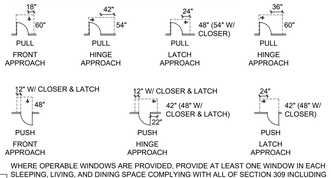
ALL TRADES
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs), SHALL BE INSTALLED IN ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS: ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. (ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE. PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

DWELLING UNIT WHEDA NOTES:

ALL ITEMS APPLY TO ALL WHEDA 'B' UNITS & WHEDA 'A' UNITS -
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

- (WH1) PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE
- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- (WH2) CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.
- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.
- (WH3) PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.
- (WH4) PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.
- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.
- (WH5) PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.
- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



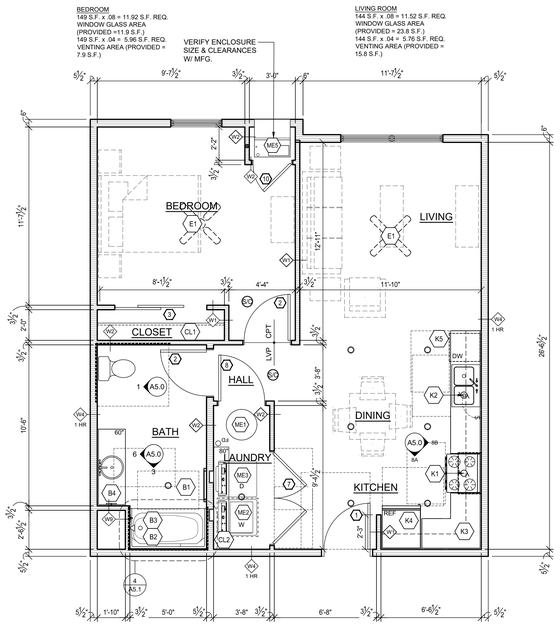
- * WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS).
  SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.
- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.
- (WH6) ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- SC — SMOKE / CARBON MOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

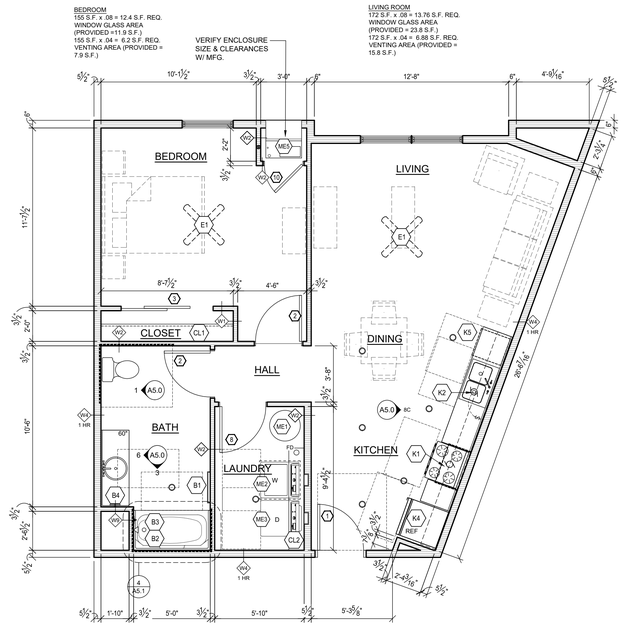
ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.



UNIT TYPE #2
1 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

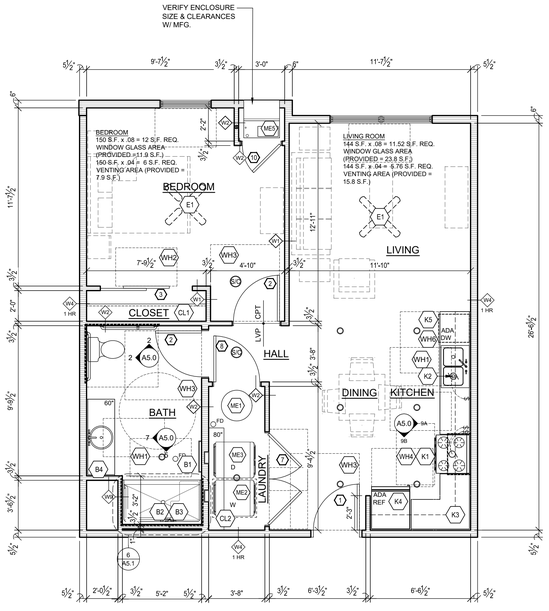
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	672 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	715 SF



UNIT TYPE #1
1 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

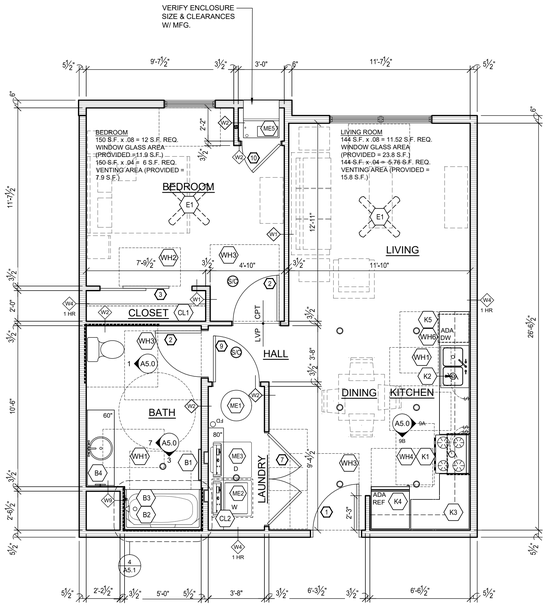
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	701 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	751 SF



UNIT TYPE #4
1 BEDROOM - WHEDA 'A'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	672 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	715 SF



UNIT TYPE #3
1 BEDROOM - WHEDA 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	672 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	715 SF

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

COMMONWEALTH COMPANIES
24 SOUTH BROOKE STREET
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(920) 922-8170 FAX: (920) 922-8171

700 GRAND
700 GRAND AVE.
WAUSAU, WI

JOB NUMBER:
2022.44

SHEET
A5.3

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DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR
- (K1) KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD
- (K2) BUILT IN DISPOSAL AT DOUBLE SINK
- (K3) PROVIDE BLIND CABINET
- (K4) ENERGY STAR RATED REFRIGERATOR
- (K5) BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

- (CL1) CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS
- (CL2) ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS
- (B1) PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED
- (B2) SHOWER HEAD LOCATION
- (B3) SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS
- (B4) PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- ------ DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

- (ME1) ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN
- (ME2) SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC
- (ME3) SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC
- (ME4) ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J
- (ME5) ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J
- (E1) ENERGY STAR CEILING FAN LOCATION
- (E2) PRE WIRE CEILING FAN LOCATION
- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER):
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

- ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES

TYPE 'B' PRIMARY BATHROOM — TOILET= 15"-18" x 48" x 56" OR 15"-18" x 48" x 66" OR SINK= 30" x 48"

TYPE 'A' PRIMARY BATHROOM — TOILET= 18" x 60" x 56" — SINK= 30" x 48" — SECTION 606 REMOVABLE CABINET BELOW SINK

TYPE 'B' PRIMARY BATHROOM — BATHTUB OR SHOWER= 30" x 48"

TYPE 'A' PRIMARY BATHROOM — BATHTUB OR SHOWER= 30" x 60" OR 30" x 60"

TYPE 'A' TURNING SPACES: ALL KITCHENS, UTILITY & ONE BATHROOM — 60" OR 36" x 60" OR 36"

CLEAR FLOOR SPACE 30" x 48" (USED AT SINKS, CLOSETS, APPLIANCES, COUNTERS, ETC....SEE PLANS)

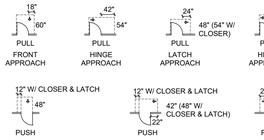
ALL TRADES
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs); SHALL BE INSTALLED IN ALL ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED; MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS; ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. (ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE. PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

DWELLING UNIT WHEDA NOTES:

ALL ITEMS APPLY TO ALL WHEDA 'B' UNITS & WHEDA 'A' UNITS -
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

- (WH1) PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE
- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- (WH2) CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.
- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.
- (WH3) PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.
- (WH4) PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.
- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.
- (WH5) PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.
- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



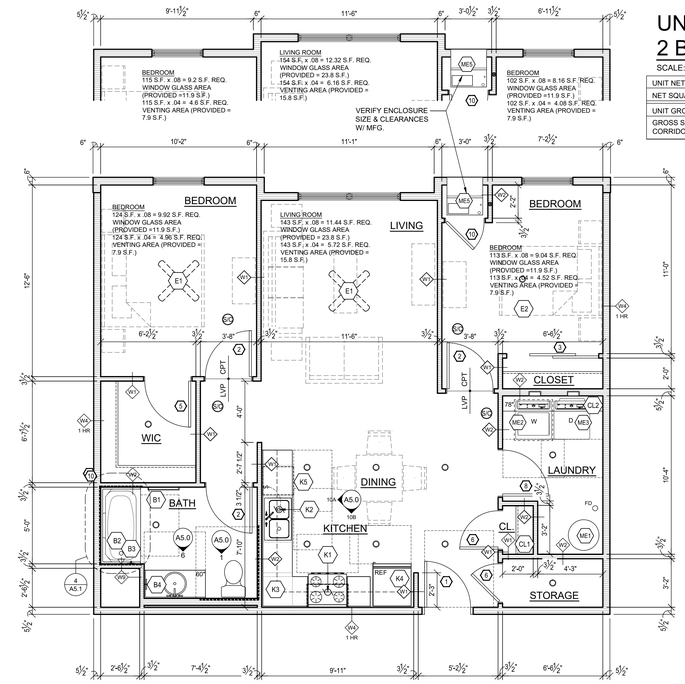
- * WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS). SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.
- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.
- (WH6) ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- SMOKE / CARBON MONOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.



UNIT TYPE #6
2 BEDROOM - TYPE 'B'

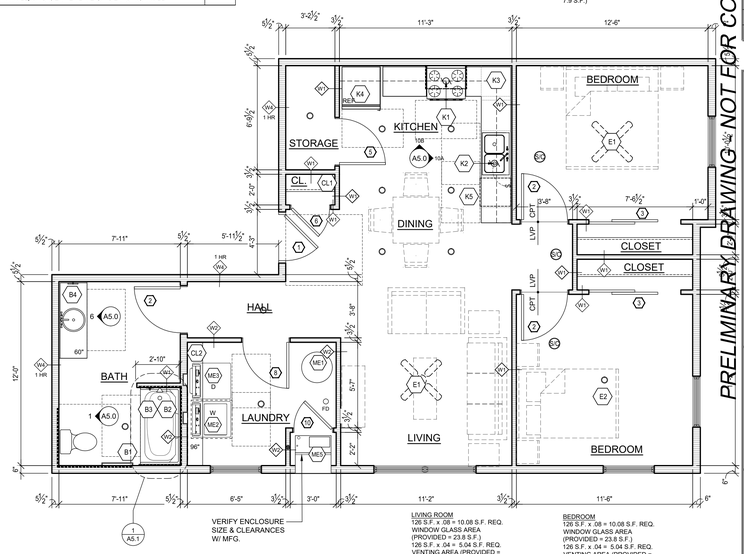
SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	884 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	935 SF

UNIT TYPE #6a
2 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

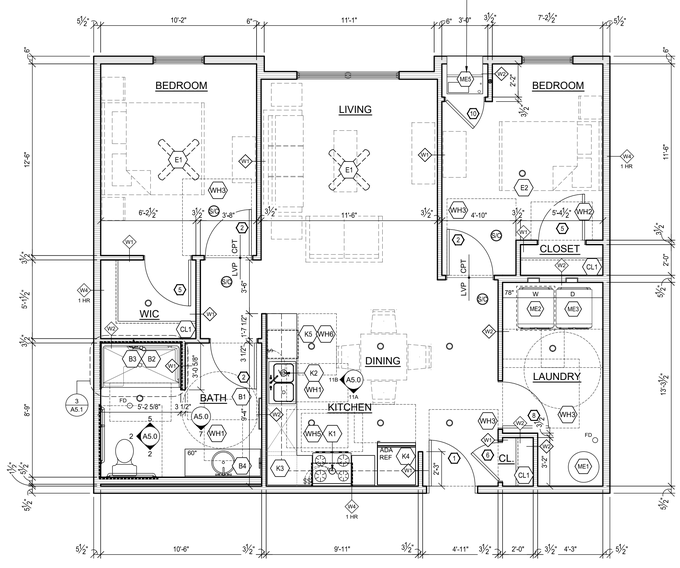
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	874 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	926 SF



UNIT TYPE #5
2 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

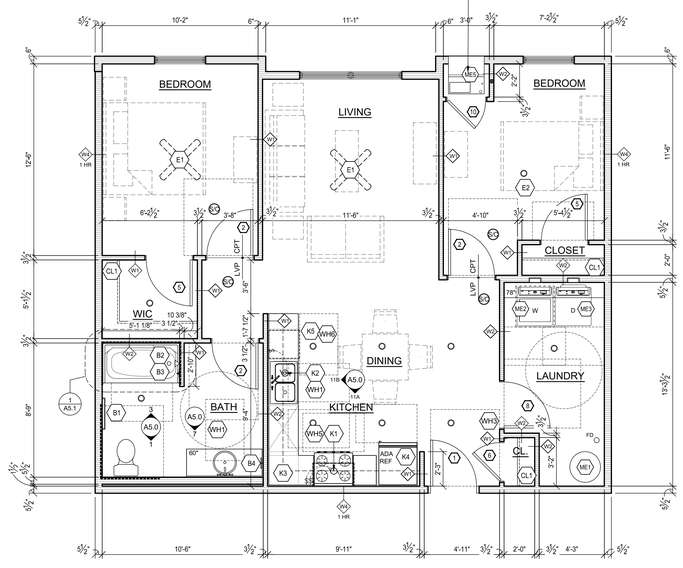
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	873 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	937 SF



UNIT TYPE #8
2 BEDROOM - WHEDA 'A'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	884 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	935 SF



UNIT TYPE #7
2 BEDROOM - WHEDA 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	884 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	935 SF

PRELIMINARY SHEET DATES:

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

COMMONWEALTH COMPANIES
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54935
(920) 922-8170 FAX: (920) 922-8171

700 GRAND
700 GRAND AVE.
WAUSAU, WI

JOB NUMBER: 2022.44

SHEET A5.4

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DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR

K1 KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD

K2 BUILT IN DISPOSAL AT DOUBLE SINK

K3 PROVIDE BLIND CABINET

K4 ENERGY STAR RATED REFRIGERATOR

K5 BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

CL1 CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS

CL2 ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS

B1 PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED

B2 SHOWER HEAD LOCATION

B3 SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS

B4 PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- ------- DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

ME1 ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN

ME2 SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC

ME3 SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC

ME4 ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J

ME5 ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J

E1 ENERGY STAR CEILING FAN LOCATION

E2 PRE WIRE CEILING FAN LOCATION

- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER).
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

- ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES

TYPE 'B' PRIMARY BATHROOM — TOILET= 15"-18" x 56" (48") OR 15"-18" x 66" (48") OR SINK= 30" x 48"

TYPE 'A' PRIMARY BATHROOM — TOILET= 18" x 56" (60") — SINK= 30" x 48" — SECTION 606 REMOVABLE CABINET BELOW SINK

TYPE 'B' PRIMARY BATHROOM — BATHTUB OR SHOWER= 30" x 48"

TYPE 'A' PRIMARY BATHROOM — BATHTUB OR SHOWER= 30" x 60" OR 30" x 60"

TYPE 'A' TURNING SPACES: ALL KITCHENS, UTILITY & ONE BATHROOM — 60" x 60" OR 36" x 60" (36")

CLEAR FLOOR SPACE 30" x 48" (USED AT SINKS, CLOSETS, APPLIANCES, COUNTERS, ETC....SEE PLANS)

ALL TRADES
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs), SHALL BE INSTALLED IN ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED; MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS; ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. (ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE. PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

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KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

WH1 PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE

- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.

WH2 CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.

- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.

WH3 PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE

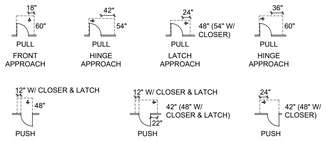
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.

WH4 PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.

- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.

WH5 PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.

- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



* WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS).
SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.

- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.

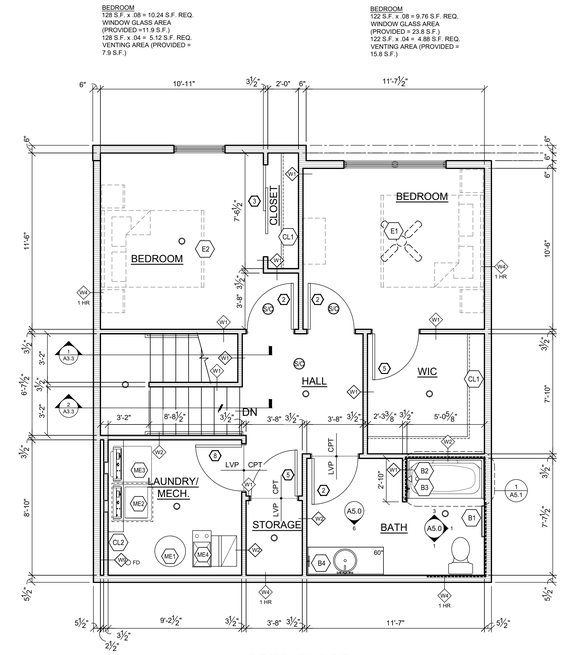
WH6 ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

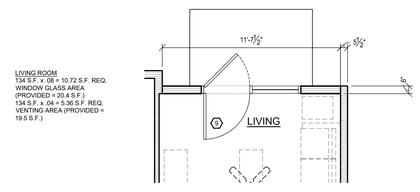
- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- SC SMOKE / CARBON MONOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.



UPPER FLOOR

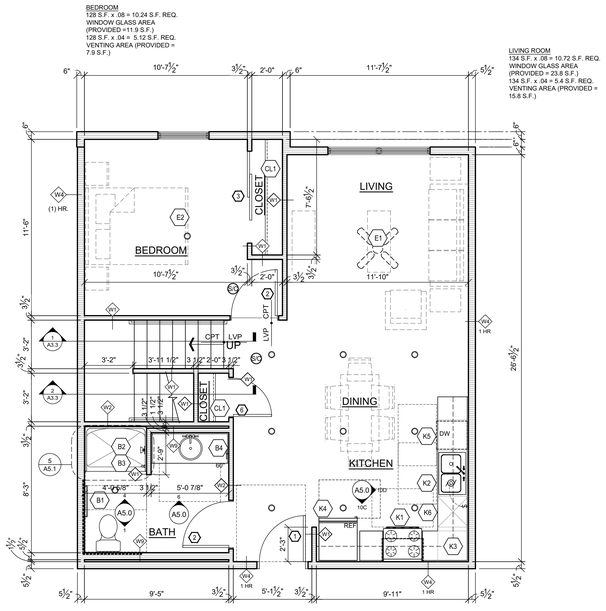


LOWER FLOOR

UNIT TYPE #9a
3 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA - LOWER LEVEL:	672 SF
UNIT NET AREA - UPPER LEVEL:	672 SF
TOTAL UNIT NET AREA:	1,344 SF
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	
UNIT GROSS AREA - LOWER LEVEL:	715 SF
UNIT GROSS AREA - UPPER LEVEL:	715 SF
TOTAL UNIT GROSS AREA:	1,430 SF
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	



LOWER FLOOR

UNIT TYPE #9
3 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA - LOWER LEVEL:	672 SF
UNIT NET AREA - UPPER LEVEL:	672 SF
TOTAL UNIT NET AREA:	1,344 SF
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	
UNIT GROSS AREA - LOWER LEVEL:	715 SF
UNIT GROSS AREA - UPPER LEVEL:	715 SF
TOTAL UNIT GROSS AREA:	1,430 SF
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	

PRELIMINARY SHEET DATES:

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, INC.
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COMMONWEALTH COMPANIES
24 SOUTH BROOKE STREET
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(920) 922-8170 FAX: (920) 922-8171

700 GRAND
700 GRAND AVE.
WAUSAU, WI

JOB NUMBER: 2022.44

SHEET A5.5

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DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR
- (K1) KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD
- (K2) BUILT IN DISPOSAL AT DOUBLE SINK
- (K3) PROVIDE BLIND CABINET
- (K4) ENERGY STAR RATED REFRIGERATOR
- (K5) BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

- (CL1) CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS
- (CL2) ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS
- (B1) PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED
- (B2) SHOWER HEAD LOCATION
- (B3) SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS
- (B4) PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

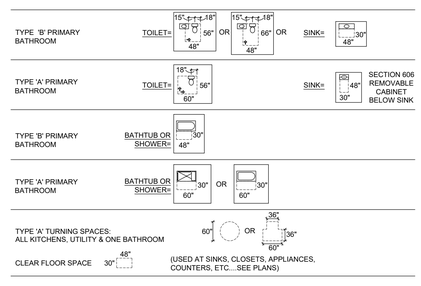
- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

- (ME1) ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN
- (ME2) SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC
- (ME3) SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC
- (ME4) ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J
- (ME5) ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J
- (E1) ENERGY STAR CEILING FAN LOCATION
- (E2) PRE WIRE CEILING FAN LOCATION
- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER);
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

- ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES



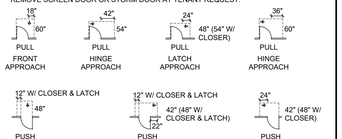
ALL TRADES
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs), SHALL BE INSTALLED IN ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS: ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. (ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE. PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

DWELLING UNIT WHEDA NOTES:

ALL ITEMS APPLY TO ALL WHEDA 'B' UNITS & WHEDA 'A' UNITS -
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

- (WH1) PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE
- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- (WH2) CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.
- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.
- (WH3) PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.
- (WH4) PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.
- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.
- (WH5) PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.
- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



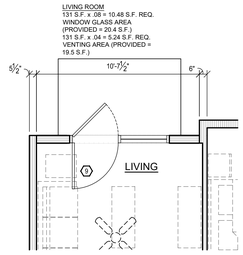
- * WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS). SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.
- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.
- (WH6) ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- SC SMOKE / CARBON MONOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

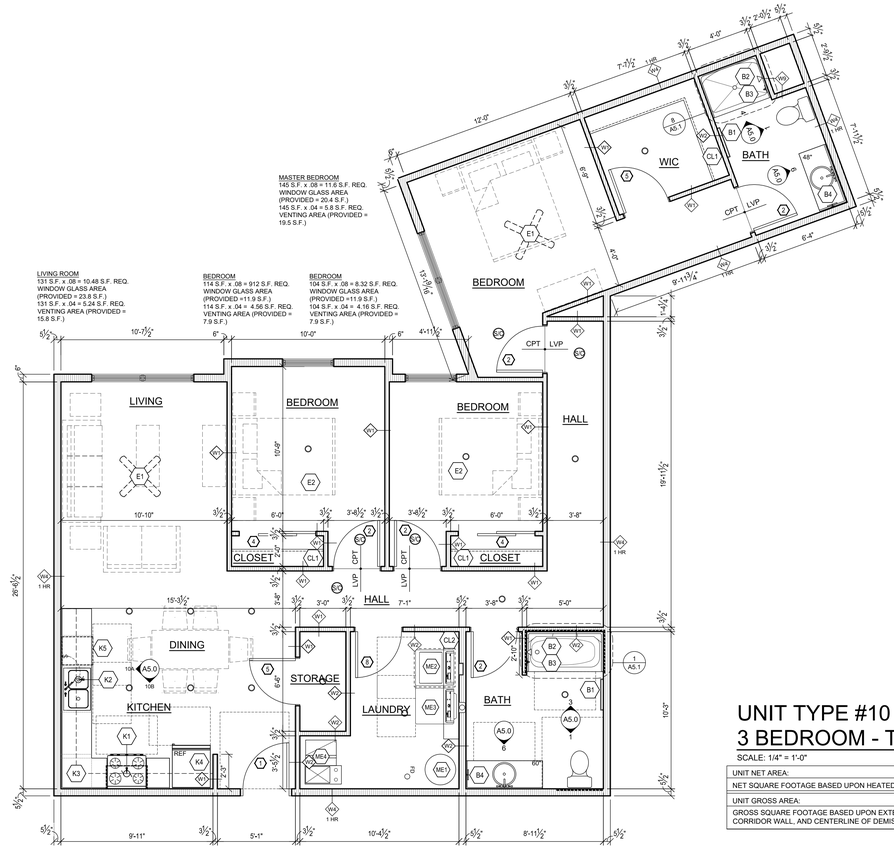
ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.



UNIT TYPE #10a
3 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

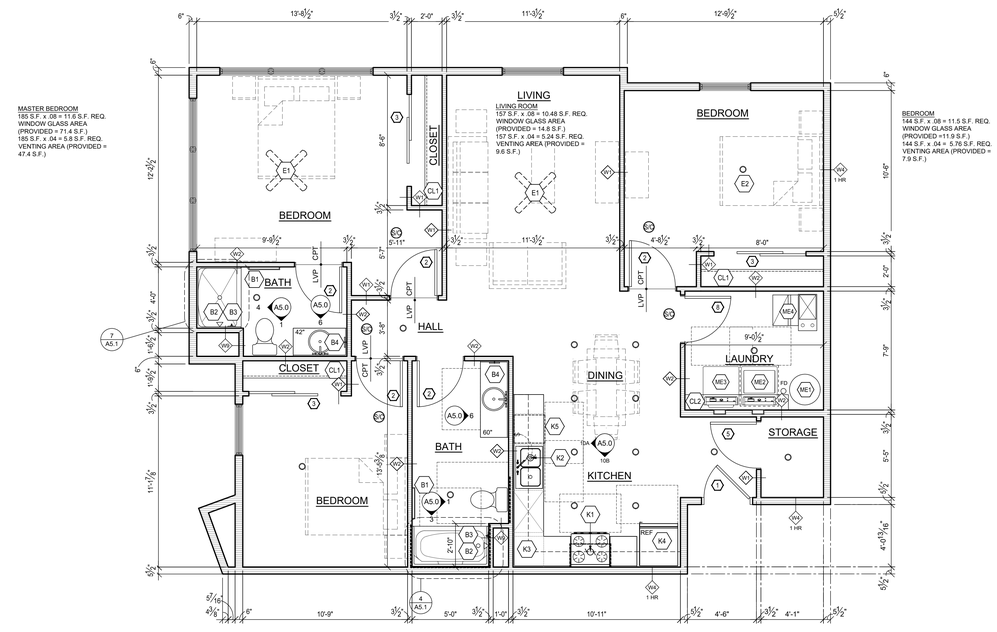
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,270 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,346 SF



UNIT TYPE #10
3 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,270 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,346 SF



UNIT TYPE #11
3 BEDROOM - TYPE 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,206 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,272 SF

PRELIMINARY SHEET DATES:

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

COMMONWEALTH COMPANIES
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54935
(920) 922-8170 FAX: (920) 922-8171

700 GRAND
700 GRAND AVE.
WAUSAU, WI

JOB NUMBER: 2022.44

SHEET A5.6

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DWELLING UNIT GENERAL NOTES:

BULLET ITEMS APPLY TO ALL CONDITIONS
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

GENERAL

- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD (B.S.) U.N.O.
- PROVIDE DOORBELL AT HEARING IMPAIRED UNITS- TOP AT 48" O.C. (HORN/STROBE NOTIFICATION TO BE CONNECTED AT HEARING IMPAIRED UNITS - SEE ELECTRICAL FOR LOCATIONS)
- SEE DETAILS FOR CONSTRUCTION OF TYP. DEMISING WALL
- BLINDS WINDOW COVERINGS TO BE PROVIDES AND INSTALLED AT ALL WINDOWS AND PATIO DOORS (IF APPLICABLE)
- PROVIDE INTERCOM SYSTEM LINKED TO VESTIBULE AT ALL UNITS (STROBE NOTIFICATION TO BE CONNECTED AT ACCESSIBLE AND HEARING IMPAIRED UNITS)

KITCHEN

- ALL BASE CABINETS TO HAVE (1) SHELF
- ALL KITCHEN WET WALLS TO HAVE MOISTURE RESISTANT GYP. BD.
- PROVIDE 30"x30" PLASTIC BACK SPLASH AT STOVE TO MATCH APPLIANCE COLOR
- K1 — KITCHEN RANGE w/ EXHAUST HOOD & CABINETRY ABOVE (DISCHARGE DUCT THROUGH SOFFIT ABOVE CABINET ROUTE TO EXTERIOR - SEE ELEVATIONS AND MECH) INSTALL (2) STOVETOP AUTOMATIC FIRE SUPPRESSOR CANISTER MOUNTED IN RANGEHOOD
- K2 — BUILT IN DISPOSAL AT DOUBLE SINK
- K3 — PROVIDE BLIND CABINET
- K4 — ENERGY STAR RATED REFRIGERATOR
- K5 — BUILT-IN ENERGY STAR RATED DISHWASHER - VERIFY HEIGHT

CLOSETS

- CL1 — CLOSETS TO HAVE (1) POLE & (2) 12" DP. SHELVES WHERE SHOWN ON PLANS - MOUNT SHELVES @ 60" & 76" A.F.F. - ADJUSTABLE SHELVING REQ. AT TYPE 'A' UNITS
- CL2 — ROOM TO HAVE (1) 12" DP. SHELF @ 60" A.F.F. IN TYPE 'B' UNITS (@ 48" A.F.F. TYPE 'A' UNITS)

BATHROOM

- ALL BATHROOM WALLS AND CEILING SHALL BE MOISTURE RESISTANT GYP. BD.
- VANITY TOPS TO BE CULTURED MARBLE w/ INTEGRAL BOWLS @ 34" A.F.F.
- WATER CLOSET HEIGHT 17" TO 19" A.F.F. ALL WATER CLOSET'S FLUSH CONTROLS BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
- MIRROR TO EXTEND LENGTH OF VANITY 1" ABOVE BACK SPLASH & 3'-0" IN HEIGHT
- SHOWER ROD TO BE MOUNTED AT 6'-4" A.F.F.
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR
- PROVIDE AN ANTI-SCALED DEVICE AT ALL SHOWER AND TUBE LOCATIONS
- ALL TUBS / SHOWERS TO BE SET ON PRE-POURED GYPCRETE AT RATED FLOORS
- B1 — PROVIDE (1) TOWEL BAR 24" (U.N.O.) IN ALL BATHROOMS, (LOCATION SHOWN ON PLANS) - SUPPLY BLOCKING AS REQUIRED
- B2 — SHOWER HEAD LOCATION
- B3 — SHOWER/ TUB OFFSET CONTROLS (SEE DETAILS FOR LOCATION) AND PROVIDE w/ ANTI- SCALD DEVICES ON ALL SHOWERS AND TUBS
- B4 — PROVIDE (1) TOWEL RING MTD. @ 48" AFF (SEE PLAN) SUPPLY BLOCKING AS REQUIRED

BLOCKING

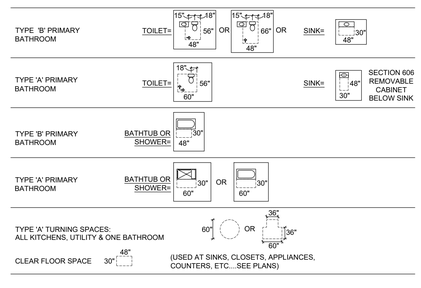
- PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWERS PER SECTION 1004.11.2.
- ** ALL TUB AND SHOWER SURROUNDS TO HAVE MANUFACTURED INSTALLED AT LOCATIONS SHOWN - SEE ELEVATIONS FOR DETAIL
- PROVIDE 50" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 20" LONG (MIN.) 2x6 BLK'G ON SIDE WALL OF TOILET FOR 18" VERTICAL GRAB BAR @ 40" TO CENTER - SEE ELEVATIONS FOR DETAIL
- PROVIDE 44" LONG (MIN.) 2x6 BLK'G ON REAR WALL OF TOILET. BLK'G. TO BE @ 34" A.F.F. TO THE CENTER - SEE ELEVATIONS FOR DETAIL
- DASHED LINES ON ENLARGED PLANS REPRESENT BLOCKING

MECHANICAL & ELECTRICAL

- ME1 — ELECTRIC WATER HEATER w/ DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN
- ME2 — SUPPLY AND INSTALL WASHER WITH DISASTER PAN WITH INLET HARD PIPED TO FLOOR DRAIN. WASHER ALWAYS LOCATED ON THE LEFT WITHIN THE UNIT - SEE SPEC
- ME3 — SUPPLY AND INSTALL DRYER HOOKUPS WITH METAL DRYER VENT BOX (DBX 1000M-6). DRYER ALWAYS LOCATED ON THE RIGHT WITHIN THE UNIT - SEE SPEC
- ME4 — ENERGY STAR 90-94 EFFICIENCY GAS FURNANCE w/ CONDENSATION LINE PIPED TO FLOOR DRAIN - USING MANUAL J
- ME5 — ENERGY STAR SINGLE PACKAGED VERTICAL UNIT (SPVU) w/ CONDENSATION LINE PIPED TO HUB DRAIN TO INCLUDE REMOVABLE ACCESS PANEL - DESIGN BASED ON USING MANUAL J
- E1 — ENERGY STAR CEILING FAN LOCATION
- E2 — PRE WIRE CEILING FAN LOCATION
- WASHER AND WATER HEATER WET WALLS TO BE MOISTURE RESISTANT GYP. BOARD.
- ALL MECH / UTILITY / W/D ROOMS TO HAVE FLOOR DRAIN LOCATED AT EDGE OF ROOM - SEE PLANS
- ALL PROPOSED RANGE HOOD VENT, DRYER VENT, AND BATHROOM VENTS USING RIDGED DUCT TO EXTERIOR AND PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT COLOR
- PROVIDE WATER SHUT OFF IN ALL UNITS
- PROVIDE SETBACK THERMOSTATS TOP @ 48" HIGH - SEE APPENDIX 'M' BELOW
- ALL BATHROOMS TO BE PROVIDED w/ LIGHT & SEPARATE SWITCH
- ELECTRICAL PANEL 48" A.F.F. TO THE TOP OF BREAKER
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES - TOP OF SWITCH 48" A.F.F.
- ALL LIGHT SWITCHES, ELECTRICAL OUTLETS, DATA OUTLETS, MECH CONTROLS AND OTHER CONTROLS MOUNTED TOP OF DEVICE TO BE 48" A.F.F. AND BOTTOM OF OUTLETS TO BE 18" A.F.F. AND IN ALL DWELLING UNITS - SEE INDEX M REQ.
- ALL SMOKE DETECTORS IN UNITS TO BE HARD WIRED W/ A BACK-UP POWER SOURCE. AND ALSO TO BE INTERCONNECTED SO THAT WHEN ONE ALARM GOES OFF, ALL GO OFF.
- SEPARATE UNDERGROUND HOT AND COLD WATER LINES - SEPARATED BY 3'-0"
- PROVIDE SOFT WATER AT ALL FIXTURES EXCEPT COLD WATER AT KITCHEN SINK AND OUTDOOR HOSE BIB.
- PROVIDE ENERGY STAR-LABELED EXHAUST FANS (EXHAUSTED TO THE EXTERIOR AND EQUIPPED WITH SMART HUMIDISTAT SENSOR OR TIMER);
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT

- ALL PENETRATIONS THROUGH RATED WALLS AND MEMBRANES SHALL BE FIRE CAULKED TO MEET STATE AND LOCAL CODES. PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS TO INCLUDE IN BIDS (TYP.)

REQ. CLEAR FLOOR SPACES



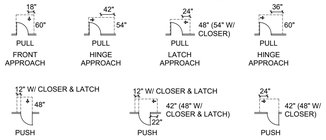
ALL TRADES
SELECT APPENDIX 'M' REQUIREMENTS PERTAINING TO DWELLING UNITS
SEE TITLE SHEET FOR ADDITIONAL REQUIREMENTS

- SHOWERHEADS & FAUCETS: A) LOW FLOW SHOWERHEADS OF 1.75 GPM, OR LESS, MUST BE INSTALLED ON EVERY SHOWERHEAD WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT, AND B) FAUCET AERATORS WITH A RATING OF 1.5 GPM OR LESS MUST BE INSTALLED ON EVERY FAUCET WITHIN EACH DWELLING UNIT IN THE DEVELOPMENT.
- COMMON AREA LIGHTING: APPROPRIATE HIGH EFFICIENCY LIGHTING, INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS, OR COMPACT FLUORESCENT LAMPS (CFLs), SHALL BE INSTALLED IN ALL INTERIOR COMMON AREAS, INCLUDING DECORATIVE FIXTURES.
- APPLIANCES BEING REPLACED OR INITIALLY INSTALLED; MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- WINDOW OR CENTRAL AIR CONDITIONING UNITS BEING REPLACED OR INITIALLY INSTALLED: MUST MEET CURRENT ENERGY STAR® STANDARD(S). IF AN ENERGY STAR RATED APPLIANCE IS AVAILABLE.
- SETBACK THERMOSTATS; ALL FAMILY HOUSING UNITS IN THE DEVELOPMENT ARE REQUIRED TO INCORPORATE SETBACK THERMOSTATS
- LEVER-STYLE HANDLES ON ALL INTERIOR DOORS BEING REPLACED OR INITIALLY INSTALLED.
- BATH/ KITCHEN FAUCETS BEING REPLACED OR INITIALLY INSTALLED MUST BE SINGLE-LEVER TYPE.
- MINI BLINDS OR SIMILAR WINDOW COVERING. G.C. PROVIDE AND INSTALL
- COMMON LAUNDRY FACILITY. ALTERNATIVELY, ALL UNITS SHALL HAVE AT NO CHARGE: IN-UNIT WASHER/DRYER HOOK UPS, OR IN-UNIT WASHER/DRYER
- HARD WIRED HIGH SPEED INTERNET SERVICE IN EACH UNIT
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- BATHTUB/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 75% OF FLOOR.
- IN ALL BATHROOMS OF EACH UNIT, PROVIDE REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS PER SECTION 1004.11.2. (IF GRAB BARS NOT ALREADY INSTALLED IN THE UNIT)
- PROVIDE ALL BATHTUBS/SHOWERS WITH OFFSET CONTROLS AND A 30"X48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 18" AND 9" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL. WHERE THE CENTERLINE OF THE CONTROLS IS BETWEEN 9" AND 0" FROM THE OPEN FACE OF THE BATHTUB/SHOWER COMPARTMENT, THE CLEAR FLOOR SPACE IN FRONT OF THE FIXTURE SHALL EXTEND AT LEAST 9" BEYOND THE CONTROL WALL.
- AT LEAST ONE TOILET IN EACH DWELLING UNIT SHALL HAVE CLEARANCES THAT MEET THE REQUIREMENTS OF SECTION 1004.11.3.1.2.1, 1004.11.3.1.2.2 OR 1004.11.3.1.2.3.
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS AND IN DWELLING UNITS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- 100% VISITABLE UNITS. (ONLY 20% VISITABLE UNITS REQUIRED FOR SINGLE FAMILY OR DUPLEX OR TOWNHOME STYLE CONSTRUCTION) PROJECTS SHOULD BE DESIGNED AND GRADED TO ALLOW AN ACCESSIBLE ROUTE. PROVIDE AN ACCESSIBLE ROUTE FROM PARKING OR STREET LEVEL TO ALL DWELLING UNITS. ACCESSIBLE ROUTES SHALL MEET ALL THE REQUIREMENTS OF SECTION 402 INCLUDING SECTION 404 FOR ACCESSIBLE DOORS. THE LIVING ROOM, KITCHEN, AND MINIMUM OF ONE BATHROOM (WITH A MINIMUM OF A TOILET AND SINK) MUST BE ON THE ACCESSIBLE ROUTE FROM THE UNIT ENTRY. BATHROOM SHALL MEET THE REQUIREMENTS OF SECTIONS 1004.11 MINIMUM.
- LIGHTING CONTROLS, ELECTRICAL SWITCHES, AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH SECTION 1004.9 MINIMUM.
- ELECTRICAL OUTLETS AND CABLE/DATA OUTPUTS SET TO A MINIMUM HEIGHT OF 18" ABOVE THE FLOOR.
- BUILT-IN DISHWASHER AND DISPOSAL-ALL 2 BR OR LARGER UNITS. FAMILY DEVELOPMENTS ONLY.
- INDIVIDUAL STORAGE LOCKERS FOR EACH UNIT AT NO CHARGE TO RESIDENT. MUST BE INSIDE STORAGE, MINIMUM 3' X 6' X 8'. SINGLE FAMILY, DUPLEX, OR TOWNHOME STYLES ARE EXEMPT.

DWELLING UNIT WHEDA NOTES:

ALL ITEMS APPLY TO ALL WHEDA 'B' UNITS & WHEDA 'A' UNITS -
KEYNOTES POINT TO SPECIFIC INSTANCES AND LOCATIONS

- WH1 — PROVIDE REMOVABLE CABINET BENEATH KITCHEN AND BATHROOM SINKS. FLOOR FINISH SHALL EXTEND UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY. PROVIDE KITCHEN AND BATHROOM SINKS WITH OFFSET DRAIN AND 30 INCH MINIMUM CLEAR OPEN KNEE SPACE
- PROVIDE STANDARD ROLL-IN TYPE SHOWER COMPARTMENT PER SECTION 608.2.2. EXCEPTION: 2" MAXIMUM RAISED CURB IS ACCEPTABLE. MINIMUM 5% OF TOTAL DEVELOPMENT UNITS.
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOOR SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEELCHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- WH2 — CLOSETS SHALL HAVE CLEAR FLOOR SPACE AT LEAST 30" X 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR.
- BOTTOM EDGE OF MIRROR AT ALL ACCESSIBLE FLOOR LEVEL BATHROOM SINK / VANITIES TO BE 40" MAXIMUM ABOVE THE FLOOR.
- ALL INTERIOR DOORS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5, WHICH INCLUDES MANEUVERING CLEARANCES, THRESHOLDS, CLEAR WIDTH, LEVER HARDWARE, ETC.
- WH3 — PROVIDE MANEUVERING CLEARANCES AT DOORS INTENDED FOR USER PASSAGE
- RANGE HOOD CONTROLS, AND ELECTRICAL RECEPTACLES SHALL MEET THE REQUIREMENTS OF SECTION 309. AT EACH SECTION OF COUNTER TOP UNINTERRUPTED BY A SINK OR APPLIANCE, IF ONE ACCESSIBLE ELECTRICAL RECEPTACLE IS PROVIDED THEN OTHER NON-ACCESSIBLE RECEPTACLES MAY ALSO BE PROVIDED.
- WH4 — PROVIDE ELECTRICAL RECEPTACLES AND SWITCHES FOR RANGE HOOD MOUNTED AT ACCESSIBLE HEIGHT ON ENLARGED BACKSPLASH TO COMPLY WITH OBSTRUCTED HIGH SIDE REACH APPROACH OF SECTION 308.3.2(b). SEE CABINET FOR DETAILS.
- PROVIDE MINIMUM OF ONE ACCESSIBLE WORK SURFACE THAT MEETS ALL REQUIREMENTS OF SECTION 1003.12.3 INCLUDING TOP OF COUNTER AT 34" ABOVE THE FLOOR, MINIMUM 30" WIDE, AND A CLEAR FLOOR SPACE FOR FORWARD APPROACH.
- WH5 — PROVIDE REMOVABLE CABINET BENEATH WORK SURFACE. CABINET SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. FLOOR FINISH SHALL BE EXTENDED UNDER CABINETRY AND WALL FINISH SHALL EXTEND BEHIND CABINETRY.
- ENTRANCE DOORS TO THE UNIT SHALL MEET ALL REQUIREMENTS OF SECTION 404 INCLUDING DELAYED ACTION CLOSERS, MANEUVERING CLEARANCES, LOW PROFILE THRESHOLD, ETC. A SCREEN DOOR OR STORM DOOR MAY BE ADDED IN ADDITION TO THE ENTRANCE DOOR WITH INSTALLATION METHOD TO ALLOW FOR MANAGEMENT TO REMOVE SCREEN DOOR OR STORM DOOR AT TENANT REQUEST.



- * WHERE OPERABLE WINDOWS ARE PROVIDED, PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, AND DINING SPACE COMPLYING WITH ALL OF SECTION 309 INCLUDING THE FOLLOWING: ARE EASILY GRASPED WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST; AND ARE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. PROVIDE 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH CENTERED ON THE WINDOW (MIN. 10% OF UNITS).
  SEE DETAIL ## & SEE OVERALL FLOOR PLAN FOR LOCATIONS.
- CARPET SHALL HAVE ½" MAXIMUM PILE AND MEET ALL REQUIREMENTS OF SECTION 302.2.
- ALL UNIT LIGHT SWITCHES SHALL BE ROCKER TYPE LIGHT SWITCHES
- LOW-PROFILE THRESHOLDS - ALL CHANGES IN LEVEL WITHIN COMMON AREAS TO BE ¼" MAXIMUM VERTICAL OR ½" MAXIMUM BEVELED AT 1:2 PER SECTIONS 303.2 AND 303.3.
- BATHROOM/SHOWER COMPARTMENT PERMANENTLY LINED WITH NON-SKID SURFACE OR PATTERN COVERING 79% OF FLOOR.
- ALL WHEDA KITCHEN AND BATH CABINETS TO HAVE 4" TOE SPACE AND PULL OUT DRAWERS IN BASE CABINETS.
- WH6 — ADA HEIGHT ENERGY STAR RATED BUILT-IN DISHWASHER

KEY SYMBOLS

- REPRESENTS (1) HR RATED WALLS - SEE SHEET A8.0
- S/C — SMOKE / CARBON MONOXIDE COMBINATION DETECTOR, HARD-WIRED
- CEILING FAN WITH LIGHT
- SIDE BY SIDE TOP LOAD WASHER / FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)
- ADA FRONT LOAD WASHER / ADA FRONT LOAD DRYER - DISASTER PAN AT WASHER - SEE SPEC (SUPPLIED BY GC)

ALL SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING SHOWN ON PLAN IS SCHEMATIC AND IS PROVIDED FOR BUDGETING PURPOSES. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

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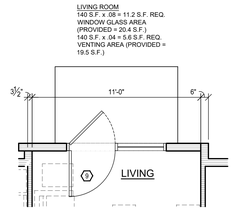
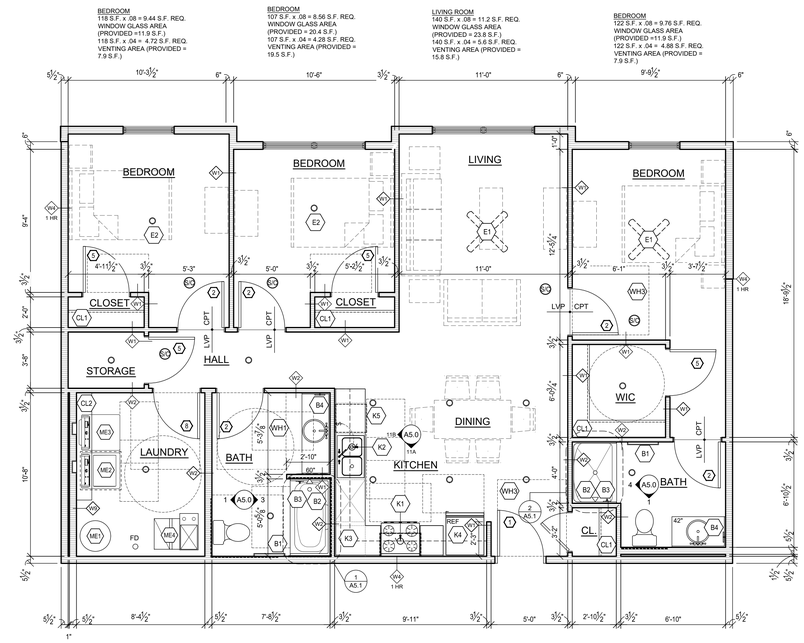


UNIT TYPE #12a
3 BEDROOM - WHEDA 'B'

SCALE: 1/4" = 1'-0"

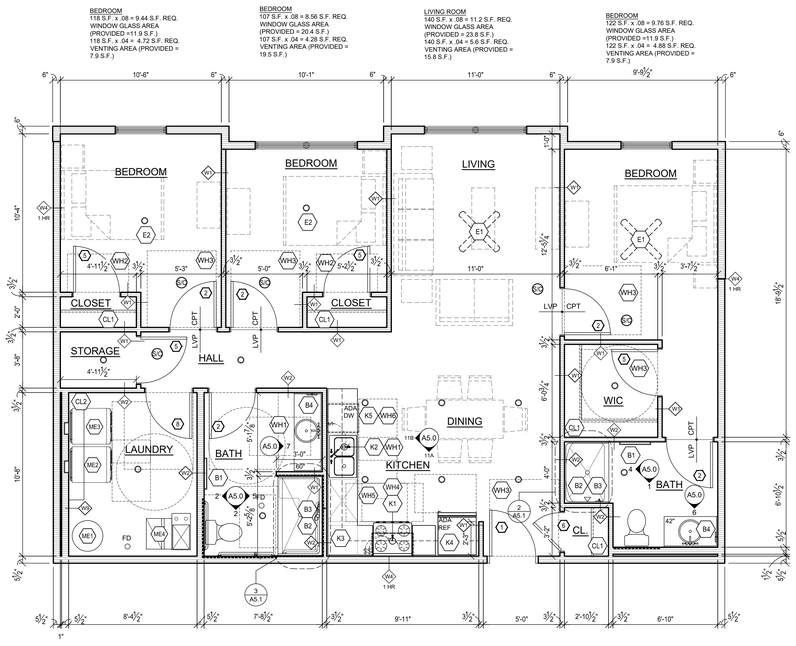
UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,152 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,214 SF



UNIT TYPE #12
3 BEDROOM - WHEDA 'B'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,152 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,214 SF



UNIT TYPE #13
3 BEDROOM - WHEDA 'A'

SCALE: 1/4" = 1'-0"

UNIT NET AREA:	
NET SQUARE FOOTAGE BASED UPON HEATED AREA ONLY	1,152 SF
UNIT GROSS AREA:	
GROSS SQUARE FOOTAGE BASED UPON EXTERIOR WALL, CORRIDOR WALL, AND CENTERLINE OF DEMISING WALL	1,214 SF

PRELIMINARY SHEET DATES:

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

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JOB NUMBER: 2022.44

SHEET A5.7

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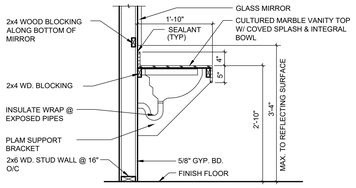
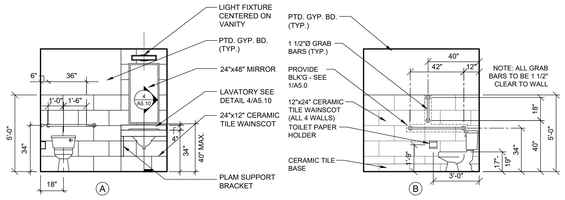


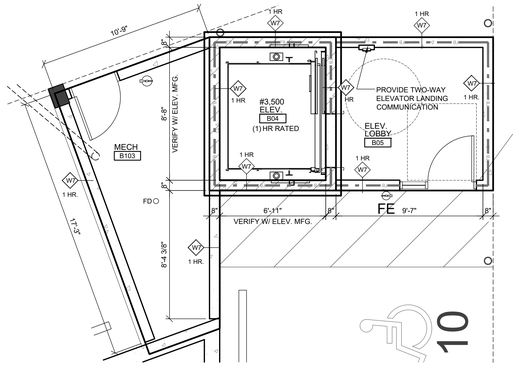
4 A5.10 TYP. LAVATORY IN PUBLIC BATH

SCALE: 1" = 1'-0"



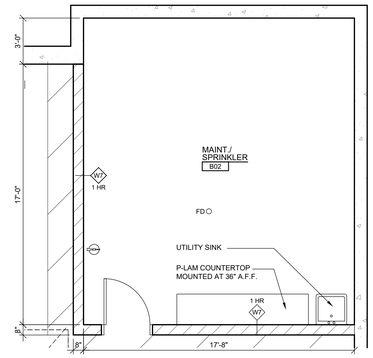
3 A5.10 PUBLIC TOILET

SCALE: 1/4" = 1'-0"



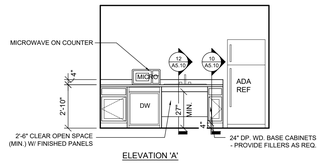
2 A5.10 BASEMENT PUBLIC AREAS ENLARGED FLOOR PLAN

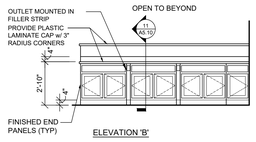
SCALE: 1/4" = 1'-0"



1 A5.10 BASEMENT MAINT/SPRINKER ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

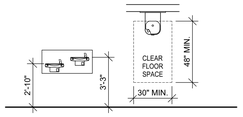




6 A5.10 COMMUNITY ROOM KITCHENETTE ELEVATIONS

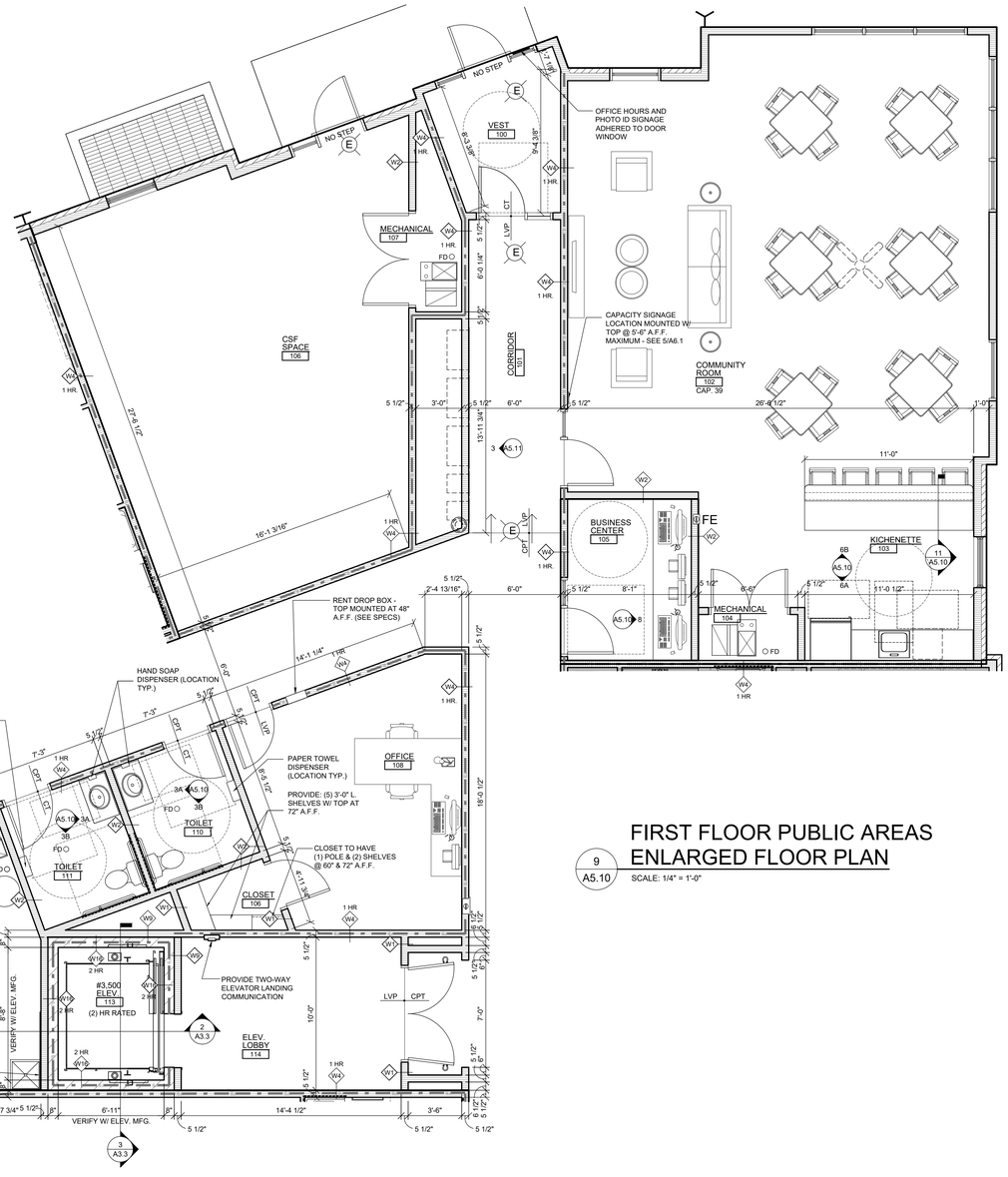
SCALE: 1/4" = 1'-0"

NOTES
1. ENSURE MIN. 2'-3" x 8" DEEP KNEE SPACE.
2. SPOUT HEIGHT FOR ADA IS MAX. 36" AFF. FOR STANDING PEOPLE SPOUT MOUNTING HEIGHT IS 38"-43" AFF.



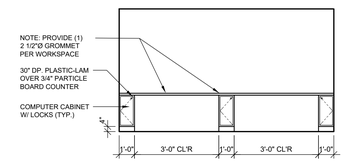
5 A5.10 DRINKING FOUNTAINS

SCALE: 1/4" = 1'-0"



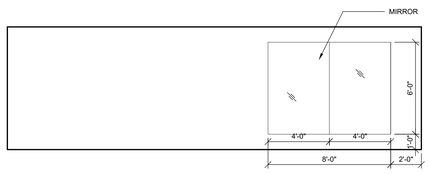
9 A5.10 FIRST FLOOR PUBLIC AREAS ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"



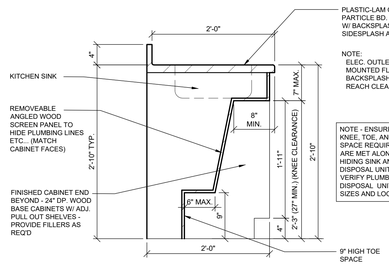
8 A5.10 BUSINESS CENTER ROOM ELEVATION

SCALE: 1/4" = 1'-0"



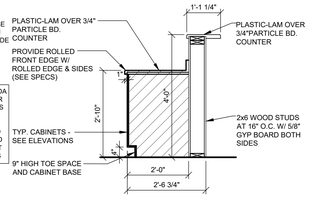
7 A5.10 FITNESS ROOM

SCALE: 1/4" = 1'-0"



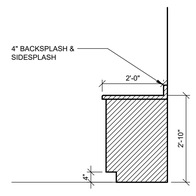
12 A5.10 TYP. ACCESSIBLE SINK

SCALE: 1" = 1'-0"
TYPICAL AT COMMUNITY ROOM KITCHENETTE



11 A5.10 KITCHENETTE CABINETRY DETAIL

SCALE: 1/2" = 1'-0"



10 A5.10 KITCHENETTE CABINETRY DETAIL

SCALE: 1/2" = 1'-0"

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PRELIMINARY SHEET DATES:

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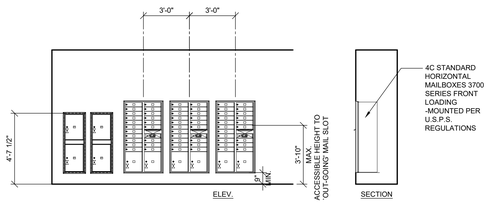
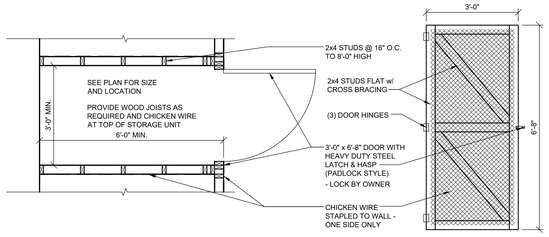


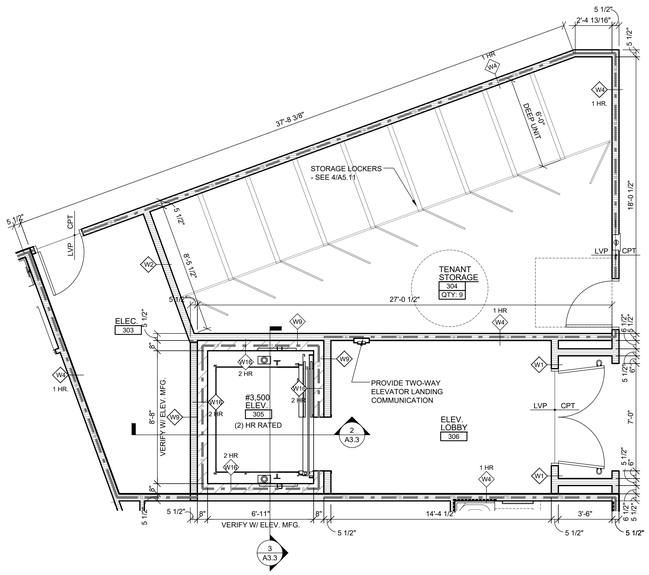
3 A5.11 MAILBOXES

SCALE: 1/4" = 1'-0"



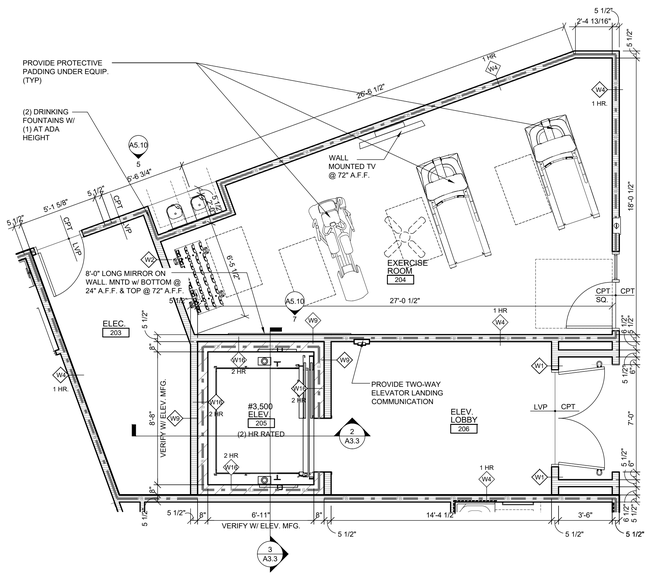
4 A5.11 TYP. TENANT STORAGE UNIT

SCALE: 1/2" = 1'-0"
TYPICAL AT TENANT STORAGE ROOMS



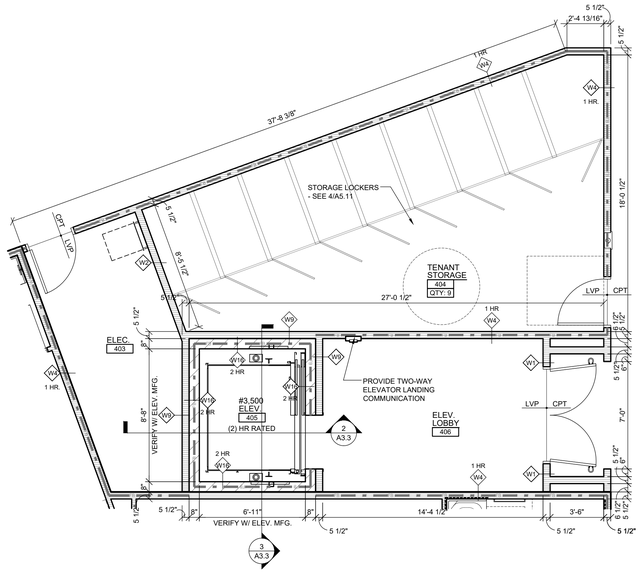
2 A5.11 THIRD FLOOR PUBLIC AREAS ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 A5.11 SECOND FLOOR PUBLIC AREAS ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"



5 A5.11 FOURTH FLOOR PUBLIC AREAS ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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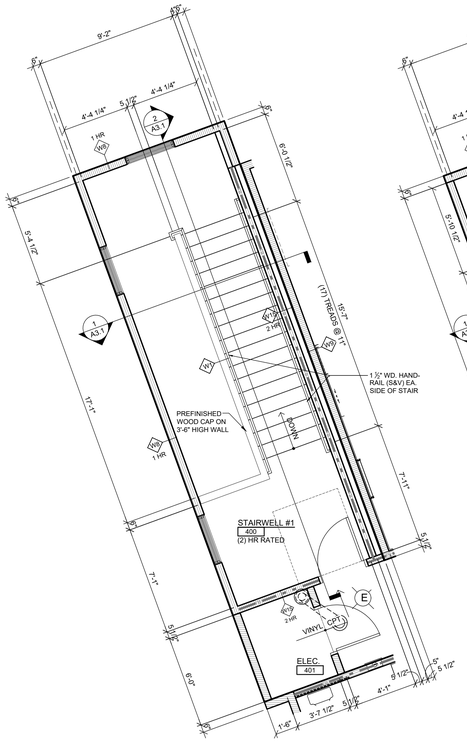
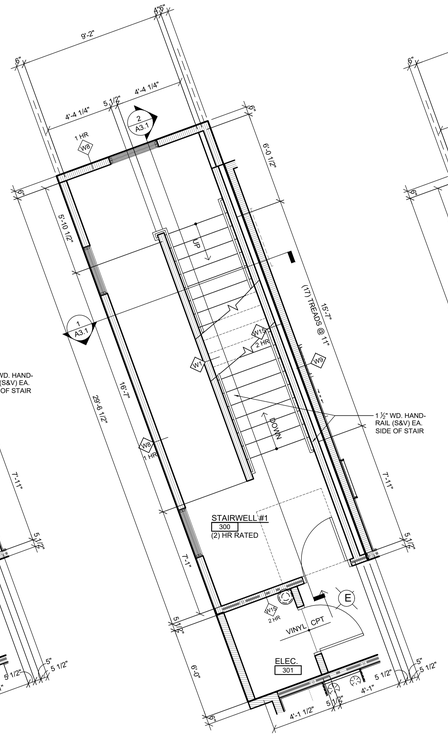


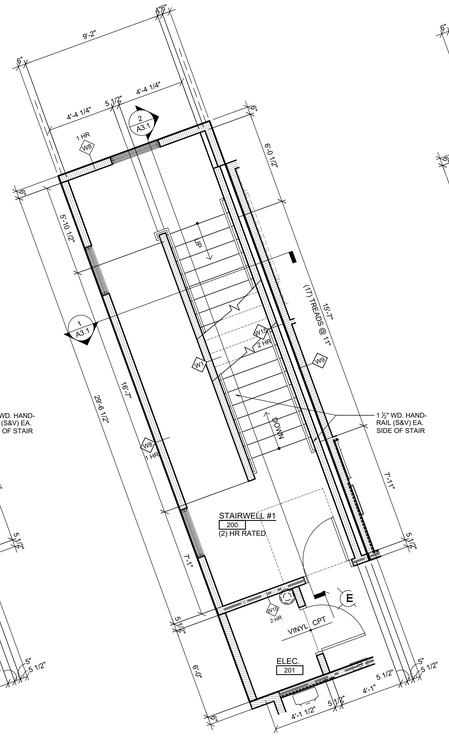
5 A5.12 FOURTH FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



4 A5.12 THIRD FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



3 A5.12 SECOND FLOOR ENLARGED STAIR PLAN

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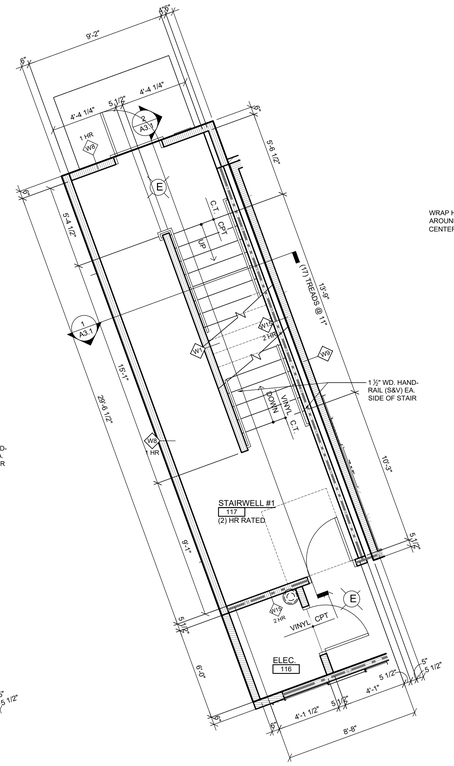

2 A5.12 FIRST FLOOR ENLARGED STAIR PLAN

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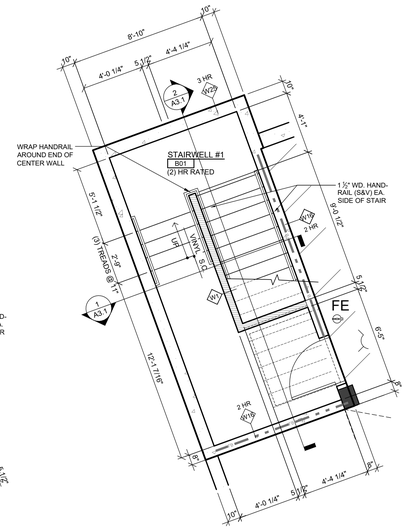
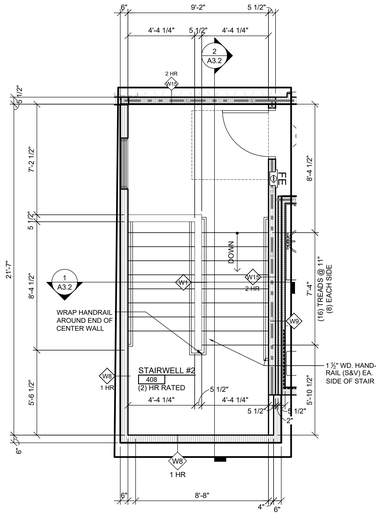


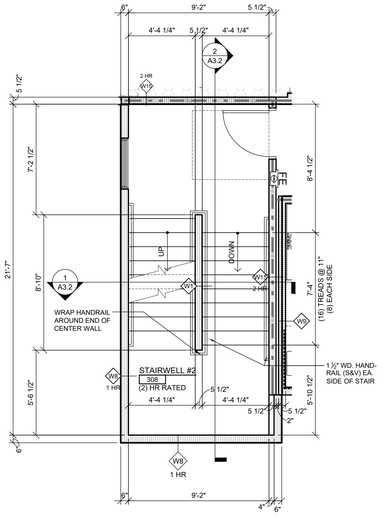
1 A5.12 BASEMENT FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



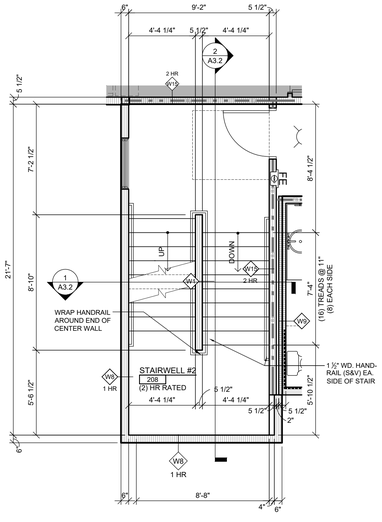
10 A5.12 FOURTH FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



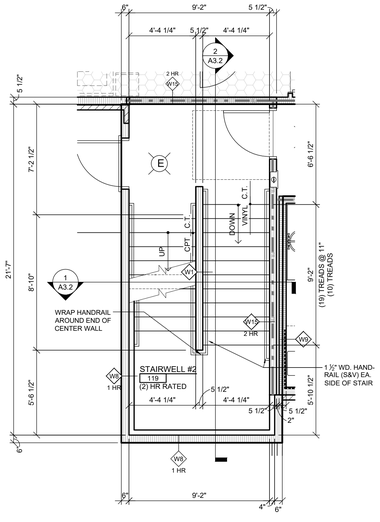
9 A5.12 THIRD FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



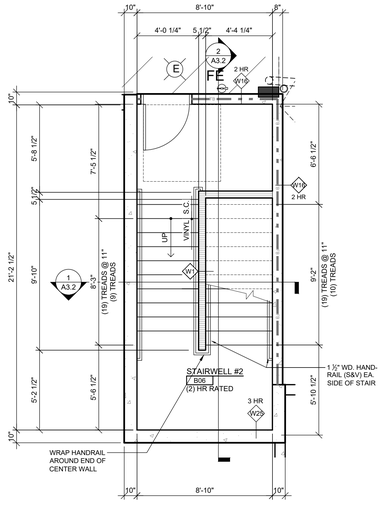
8 A5.12 SECOND FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



7 A5.12 FIRST FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"



6 A5.12 BASEMENT FLOOR ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"

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SUMMARY OF PROCEDURES FOR ESTABLISHING A PLANNED UNIT DEVELOPMENT DISTRICT

A Planned Unit Development District (PUD) may be established anywhere in the City and may contain any use or combination of uses approved by the City. Each PUD is a unique zoning district.

The procedure for establishing a PUD involves two steps: a pre-application conference with the Plan Commission or City officials and approval of a general development plan or a combination general development and specific implementation plan. Of course, like for any zone change, a public hearing must be held.

Designation of a petitioner's property as a PUD begins with the submittal of a petition (signed by the property owner) with a general development plan. This information must be submitted at least three weeks prior to the Plan Commission public hearing on the requested zone change. The general development plan provides the basic information needed to judge whether the total development will be both internally compatible and appropriate for the neighborhood. The general development plan usually consists of a site plan, building elevations, and a written narrative that addresses land use and other project development issues. Since the plan is general, the developer is spared the expense of preparing a detailed proposal that might be rejected or substantially modified during the review process. In addition, the developer may wish to complete the project in phases; thus, the general development plan should outline how the phased development will be integrated into the entire proposal.

Where development will not be accomplished in phases, the petitioner may request, and the City may approve, both the petition for establishing a PUD (the general development plan) and the specific implementation plan concurrently.

The fundamental difference between the general development plan and the specific implementation plan is that building construction may begin only after approval of the specific implementation plan. Thus, an approved general development plan establishes the PUD zone; an approved specific implementation plan allows building permits to be issued.

Approval of the development proposal must be based upon compliance with the six criteria identified in the Planned Unit Development District zoning ordinance text. Furthermore, both the general development plan and the specific implementation plan(s) must meet the informational requirements outlined in the text so that the plans can be evaluated relative to the established criteria. These approved plans are also the permanent record of the specific land uses allowed and development standards required in each particular PUD.

Any modification of the general or specific plan must be approved by the Plan Commission and Common Council. If the Plan Commission feels that the proposed modification represents a "significant alteration" of the original plan, a public hearing must be held.

If a general development plan has been approved, a public hearing on the precise implementation plan(s) is not necessary unless deemed so by the Plan Commission.

Revised: January 2021

REVIEW CHECKLIST FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT DISTRICT AND ASSOCIATED PLANS

I. General Development Plan — It should cover the entire area proposed for PUD designation and be in sufficient detail to make possible the evaluation of the Criteria for Approval (see Section III, below).

(If a General Development Plan is not submitted, go to Section II, below.)

IS THE FOLLOWING INFORMATION PROVIDED:

YES_____NO_____ General location map of the subject site depicting;

a) All lands for which the PUD is proposed and all other lands within 100 feet of the boundaries of the subject site
b) Current zoning of the subject site and abutting properties
c) A graphic scale and north arrow

YES_____NO_____ Generalized site plan showing the pattern or proposed land uses;

a) General size, shape and arrangement of lots and specific use areas
b) Basic street pattern and pattern of internal drives
c) General site grading plan showing preliminary road grades
d) Basic storm drainage pattern, including proposed on-site stormwater detention
e) General location of recreational and open space areas, including designation of any such areas to be classified as common open space

YES_____NO_____ Statistical data;

a) Minimum lot sizes in the development
b) Approximate areas of all lots
c) Density / intensity of various parts of the development
d) Building coverage
e) Landscaping surface area ratio of all land uses
f) Expecting staging

YES_____NO_____ Conceptual landscaping plan, noting approximate locations of foundation, street, yard, and paving landscaping, and comparing the proposed landscaping plan to the standard landscaping requirements;

YES_____NO_____ General signage plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which may or may not be proposed to vary from City stardards or common practices;

YES_____NO_____ General outline of property owner's association, covenants, easements, and deed restrictions;

YES_____NO_____ A written description of the proposed Planned Unit Development;

a) General project themes and images
b) The general mix of dwelling unit types and/or land uses
c) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface area ratio, and/or other appropriate measures of density and intensity
d) General treatment of natural features
e) General relationship to nearby properties and public streets
f) General relationship of the project to the Comprehensive Plan and other area plans
g) Proposed exceptions

YES_____NO_____ Traffic Impact Analysis (TIA) that evaluates the adequacy of the existing and proposed transportation system that serves the Planned Unit Development may be required by the City, if deemed necessary by the Zoning Administrator;

a) If required, the TIA should address all elements of the transportation system as it relates to pedestrians, bicyclists, transit, vehicular traffic, and adjacent land development
b) It is noted that the Wisconsin Department of Transportation (WisDOT) has TIA requirements that must be followed if a development project has direct access to the State Trunk Highway System

YES_____NO_____ Any other item the Plan Commission requires to protect the public interest; NONE REQUIRED _____

II. Specific Implementation Plan — It should cover the entire area for which specific development approval is requested and be of sufficient detail to make possible the evaluation of Criteria for Approval (III).

IS THE FOLLOWING INFORMATION PROVIDED:

YES_____NO_____ An existing conditions map of the subject site;
a) All lands for the Planned Unit Development is proposed and all other lands within100 feet of the boundaries of the subject site
b) Current zoning of the subject property and all abutting properties, and the jurisdiction(s) that maintains the control
c) Existing utilities and recorded easements
d) All lot dimensions of the subject site
e) A graphic scale and a north arrow

YES_____NO_____ A SIP map of the proposed site showing;
a) Lot layout and the arrangements of the buildings.
b) Public and private roads, driveways, walkways and parking facilities
c) Specific treatment and location of recreational and open space areas, including designation of any such areas to be classified as a common open space

YES_____NO_____ Proposed grading plan;

YES_____NO_____ Specific landscaping plan for the subject site, specifying the location, species, and installation of all plantings. The landscaping plans shall include a table summarizing all proposed species;

YES_____NO_____ Architectural plans for any nonresidential buildings, multi-family structures, or building clusters, other than conventional single-family or two-family homes on individual lots, in sufficient detail to indicate the floor area, bulk, and visual character of such buildings;

YES_____NO_____ Engineering plans for all water and sewer systems, stormwater systems, roads, parking areas, and walkways;

YES_____NO_____ Signage plan for the project, including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes that may or may not vary from City standards or common practices;

YES_____NO_____ Specific written description of the proposed SIP;
a) Specific project themes and images
b) Specific mix of dwelling unit types and/or land uses
c) Specific residential densities and nonresidential intensities as described by dwelling units per acre, and landscaping surface area ration and/or other appropriate measures of density and intensity
d) Specific treatment of natural features, including parkland
e) Specific relationship to nearby properties and public streets
f) Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads; density/intensity of various parts of the development; building coverage, and landscaping surface area ratio of all land uses; proposed staging; and any other plans required by the Plan Commission
g) A statement of rationale as to why PUD zoning is proposed. This statement

shall list the standard zoning requirements that, in the applicant's opinion, would inhibit the development project and the opportunities for community betterment that are available through the proposed PUD project

h) A complete list of zoning standards that would not be met by the proposed SIP and the location(s) in which such exceptions/base standard modifications would occur

i) Phasing schedule, if more than one development phase is intended

YES_____NO_____ Agreements, bylaws, covenants, and other documents relative to the operational regulations of the development and particularly providing for the permanent preservation of maintenance of common open areas and amenities;

YES_____NO_____ A written description that demonstrates how the SIP is consistent with the approved GDP and any and all differences between the requirements of the approved GDP and the proposed SIP;

III. <u>Criteria for Approval</u> (Used by Plan Commission and Common Council)— All of the questions below must be answered "YES" for the development proposal to be approved (Sec. 23.10 of the *Wausau Municipal Code*).

YES_____NO_____ The proposed Planned Unit Development project is consistent with the overall purpose and intent of this Chapter.

YES_____NO_____ The proposed Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistence.)

YES_____NO_____ The proposed Planned Unit Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site

YES_____NO_____ Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Unit Development project, included but not limited to public sewer and water and public roads

YES_____NO_____ The proposed Planned Unit Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities

YES_____NO_____ The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site

YES_____NO_____ The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development

YES_____NO_____ The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area

YES_____NO_____ The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested expectations/base standard modifications variation of any standard or regulation

YES_____NO_____ For Planned Unit Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed