



*** All present are expected to conduct themselves in accordance with our City's Core Values ***

OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department, Committee, Agency, Corporation, Quasi-Municipal Corporation, or sub-unit thereof.

Meeting:	PLAN COMMISSION OF THE CITY OF WAUSAU
Date/Time:	Tuesday, May 20, 2025, at 5:00 PM
Location:	City Hall (407 Grant Street, Wausau, WI 54403), Council Chambers
Members:	Mayor Doug Diny (C), Eric Lindman, Sarah Watson, Lou Larson, Bruce Bohlken, Andrew Brueggeman, George Bornemann

AGENDA ITEMS FOR CONSIDERATION

(All items listed may be acted upon)

- 1) Approved the meeting minutes for April 29 and May 1, 2025.
- 2) **PUBLIC HEARING:** Discussion on rezoning 1339 Curling Way from a MI Zoning District to a HI Zoning District. (REVI)
- 3) Discussion and possible action on rezoning 1339 Curling Way from a MI Zoning District to a HI Zoning District. (REVI)
- 4) Discussion and possible action for the Specific Implementation Plan for 920 N 1st St and 15 Fulton St, also know as Riverlife South (Wangard)
- 5) Discussion and possible action on approving the Signage Plan for Lokre Development/Bantr Living, 1520 Elm St.
- 6) Next meeting date June 17, 2025
- 7) Adjournment

Mayor Doug Diny, Chairperson

It is likely that members of, and a quorum of the Council and/or members of other committees of the Common Council of the City of Wausau will be in attendance at the above-mentioned meeting to gather information. **No action will be taken by any such groups.**

Members of the public may view the meeting live or after the fact on the City of Wausau's YouTube Channel: <https://tinyurl.com/WausauCityCouncil> or live on Cable TV, Channel 981. Any person who wishes to make a public comment but is unable to or does not wish to appear in person may direct their comment via email samantha.kulig@wausauwi.gov or City Planner: brad.lenz@wausauwi.gov with "PC Public Comment" in the subject line by the start of the meeting. All public comments received, either by email or in person, will be limited to items on the agenda only. Messages related to agenda items received prior to the start of the meeting will be provided to the Committee Chair.

This Notice was Posted at City Hall and Emailed to Local Media Outlets on 5/13/25 @ 4:00 PM

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you need assistance or reasonable accommodations to participate in this meeting or event due to a disability as defined under the ADA, please call the ADA Coordinator at (715) 261-6622 or email ADAServices@wausauwi.gov to discuss your accessibility needs. We ask that your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours beforehand, the City of Wausau will make a good faith effort to accommodate your request.

PLAN COMMISSION

Time and Date: The Plan Commission met on Tuesday, April 29, 2025, at 4:30 p.m. in the Common Council Chambers of Wausau City Hall

Members Present: Mayor Doug Diny, Eric Lindman, Bruce Bohlken, Sarah Watson, Lou Larson, George Bornemann,

Staff Present: William Hebert, MaryAnne Groat, Shahn Kariger, Brad Lenz, Andrew Lynch, Brooke Mueller

Others Present: Craig Lang (Lang Investments), Rich Westberg (Resident), Bryan Bailey (President Woodson YMCA)

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Doug Diny called the meeting to order at approximately 5:00 p.m. noting that a quorum was present.

Approve the meeting minutes for March 18, 2025

Motion by Bohlken and seconded by Larson. Motion approved unanimously 6-0

PUBLIC HEARING: Discussion on rezoning 2811 W Wausau Ave from a DR-8 to a TF-10 to allow for a 3-4 unit multiplex. (Lang Investments LLC)

Mayor Diny opened the public hearing.

Craig Lane expressed his hopes for building a 3-4 unit multiplex on the property due to the length of the parcel.

Mayor Diny closed the public hearing.

Discussion and possible action on rezoning 2811 W Wausau Ave from a DR-8 to a TF-10 to allow for a 3-4 unit multiplex. (Lang Investments LLC)

Motion by Borneman and seconded by Bohlken. Motion approved unanimously 6-0

PUBLIC HEARING: Discussion on rezoning 1040 S 12th Ave from a TF-10 to a PUD to allow for 2 duplexes. (MAC Ventures)

Mayor Diny opened the public hearing.

Rich Westberg, S 12th Ave resident, voiced his concerns about the additional traffic/parking issues in adding 2 duplexes to the corner of S 12th Ave & Thomas St. There is already quite a bit of traffic due to the school (busses, parents, etc) during the day and traffic/parking issues related to Treu's Tic Tok, which is directly across the street from where the duplexes would be.

Mayor Diny closed the public hearing.

Discussion and possible action on rezoning 1040 S 12th Ave from a TF-10 to a PUD to allow for 2 duplexes. (MAC Ventures)

Motion by Bohlken and seconded by Borneman. Motion approved unanimously 6-0

PUBLIC HEARING: Discussion on approving a Conditional Use permit for 903 3rd St (First United Methodist Church) to allow for the use of their basement as an emergency night shelter. (Wausau PD)

Mayor Diny opened the public hearing.

Bryan Bailey, President Woodson YMCA, supports helping the homeless population, but expressed concerns to the location of the night shelter. When the night shelter was located there a few years back, the YMCA had

break-ins, urine and defecation on the sidewalks, and needles and other drug paraphernalia found nearby. The daycare kids take walks along this path and it's also near The Landing, which is why he has his concerns of the location. Mayor Diny closed the public hearing.

PUBLIC HEARING: Discussion regarding Tax Increment District No. 3 Project Plan Amendment #6 In Order to Add Projects and Project Costs. (Finance)

Mayor Diny opened the public hearing.

MaryAnne gave a brief presentation on the purpose of this request
Mayor Diny closed the public hearing.

Discussion and possible action regarding Tax Increment District No. 3 Project Plan Amendment #6 In Order to Add Projects and Project Costs. (Finance)

Motion by Bohlken and seconded by Borneman. Motion approved unanimously 6-0

PUBLIC HEARING: Discussion regarding Tax Increment District No. 7 Project Plan Amendment #4 in Order to share surplus increments with Tax Increment District #12 for the year 2026. (Finance)

Mayor Diny opened the public hearing.

MaryAnne gave a brief presentation on the purpose of this request
Mayor Diny closed the public hearing.

Discussion and possible action regarding Tax Increment District No. 7 Project Plan Amendment #4 in Order to share surplus increments with Tax Increment District #12 for the year 2026. (Finance)

Motion by Bohlken and seconded by Borneman. Motion approved unanimously 6-0

PUBLIC HEARING: Discussion regarding Tax Increment District No. 8 Project Plan Amendment #5 in Order to Add Projects and Project Costs. (Finance)

Mayor Diny opened the public hearing.

MaryAnne gave a brief presentation on the purpose of this request
Mayor Diny closed the public hearing.

Discussion and possible action regarding Tax Increment District No. 8 Project Plan Amendment #5 in Order to Add Projects and Project Costs. (Finance)

Motion by Borneman and seconded by Watson. Motion approved 5-1

Discussion and possible action on dedication of land as Right of Way at 700 Grand Avenue. (IAFC)

Motion by Watson and seconded by Bohlken. Motion approved unanimously 6-0

Next Meeting Date

May 1, 2025 4:15pm - Special Meeting
May 20, 2025 5:00pm - Regular Meeting

Adjournment

Motion by Watson and seconded by Larson. Motion approved unanimously, and the meeting adjourned at 5:00 p.m.

PLAN COMMISSION

Time and Date: The Plan Commission met on Thursday, May 1 2025, at 4:15 p.m. in the Common Council Chambers of Wausau City Hall

Members Present: Mayor Doug Diny, Eric Lindman, Bruce Bohlken, Sarah Watson, Lou Larson, George Bornemann,

Staff Present: William Hebert, Shahn Kariger, Brad Lenz, Brooke Mueller

Others Present:

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Doug Diny called the meeting to order at approximately 4:15 p.m. noting that a quorum was present.

Discussion and possible action on approving a Conditional Use permit for 903 3rd St (First United Methodist Church) to allow for the use of their basement as an emergency night shelter. (Wausau PD)

Bill Hebert pointed out that this is a Conditional Use which concludes 12/31/2025. If the plan is to continue using that facility after that date the operator must notify staff by 11/1/2025 so there is enough time to address permanent facility usage concerns.

Motion by Larson and seconded by Watson. Motion approved unanimously 7-0

Next Meeting Date

May 20, 2025 5:00pm

Adjournment

Motion by Borneman and seconded by Bohlken. Motion approved unanimously, and the meeting adjourned at 4:20 p.m.



STAFF REPORT

To: Plan Commission
Prepared By: Carrie Edmondson, AICP Assistant City Planner
Date: May 20, 2025

REQUESTED ACTION:

Zoning Map Amendment

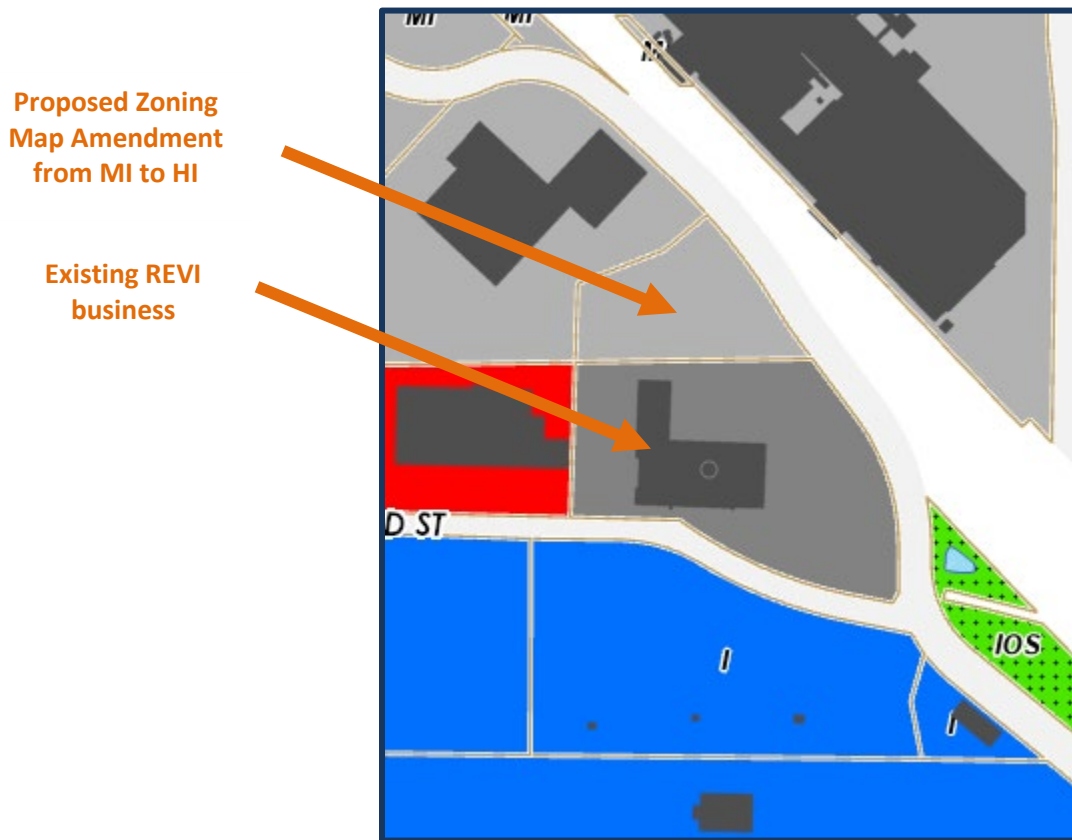
1339 Curling Way from MI to HI

LOCATION:	1339 Curling Way
APPLICANT:	REVI
EXISTING ZONING:	(MI) Medium Industrial Zoning District
EXISTING LAND USE:	Vacant
SIZE OF PARCEL:	1.218 acres
REQUESTED ZONING:	(HI) Heavy Industrial Zoning District
PURPOSE:	Expansion of outdoor storage use to include salt shed
COMPREHENSIVE PLAN:	This area is mapped as Legacy Industrial.
OTHER PLANS:	<p>Comprehensive Plan – Land Use Goal: The City of Wausau will balance the land use needs of the community to maximize the land’s potential.</p> <p>Objective 1: Maintain a harmonious balance of existing land uses within the City.</p> <p>3. Buffer industrial areas from other activities to reduce the extent of possible land conflicts.</p> <p>Objective 2: Encourage full use of land within the City boundaries, including redevelopment and infill development of underutilized areas.</p>

BACKGROUND INFORMATION:

REVI has operated a landscape contractor business for several years. They are proposing to expand their existing business through the addition of outdoor storage that includes a salt shed. The use falls under the Outdoor Storage and Wholesaling land use classification in the Zoning Code. This use is permitted by right in the Heavy Industrial Zoning District and is not permitted in the Medium Industrial Zoning District. This expansion is proposed to extend to the parcel to the north (1339 Curling Way) of their existing business (1000 McDonald Street).

The parcel at 1339 Curling Way is surrounded by Medium Industrial zoned properties on the north, east, and west and a Heavy Industrial zoned property to the south (the existing REVI property and business). As a condition of approval, they would be required to combine the two parcels



CRITERIA FOR APPROVAL

Section 23.10.31(4)(b) of the zoning code outlines the review criteria for review of a Zoning Map Amendment. Staff has provided an analysis below:

- 1. Advances the purposes of this title as outlined in section 23.01.03 and the applicable rules of the Wisconsin Department of Administration and the Federal Emergency Management Agency.**

Staff has found the proposed Zoning Map Amendment to be consistent with the applicable rules of the Wisconsin Department of Administration and the Federal Emergency Management Agency.

2. Is in harmony with the Comprehensive Plan.

The proposed zoning district aligns with the future land use designation in the Comprehensive Plan. It also presents no conflict with goals, objectives, and action steps outlined in the Comprehensive Plan.

3. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.

Dimensional standards are generally more restrictive in the HI Heavy Industrial Zoning District as compared to the (MI) Medium Industrial Zoning District, so the density may be lessened. However, there are a greater range of land uses permitted, including higher intensity land uses. Therefore, intensity would likely be increased with the proposed Zoning Map Amendment. However, the land uses permitted within the (HI) Heavy Industrial Zoning District would still be in harmony with the surrounding land use districts and land uses. Therefore, staff has determined that compatibility and consistency would be maintained, and that public benefit would outweigh any potential adverse impacts.

4. Addresses any of the following factors that are not properly addressed on the current Official Zoning Map:

- a. **The designations of the Official Zoning Map are not in conformance with the Comprehensive Plan.**
- b. **A mapping mistake was made, including the omission on the Official Zoning Map of an approved zoning map amendment.**
- c. **Factors have changed (such as new data, infrastructure, market conditions, development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.**
- d. **Growth patterns or rates have changed, creating the need for an amendment to the Official Zoning Map.**

The proposed Zoning Map Amendment is not a result of any of the factors listed above.

STAFF RECOMMENDATION

The staff recommendation is approval of the proposed Zoning Map Amendment to rezone the property located at 1339 Curling Way from (MI) Medium Industrial to (HI) Heavy Industrial with the following condition:

1. A lot combination must be completed by the applicant to combine the property located at 1000 McDonald Street with the property located at 1339 Curling Way.

COMMITTEE ACTION

Plan Commission shall make a recommendation for approval or denial to the City Council. The City Council will then determine whether to approve, approve with modifications, or deny the proposed Zoning Map Amendment.



STAFF REPORT

To: Plan Commission
Prepared By: Brad Lenz
Date: May 12, 2025

REQUESTED ACTION:

Approve Specific Implementation Plan (SIP) at 920 N. 1st Street and 15 Fulton Street
For a multi-family residential development (144 units)

APPLICANT:	Wangard Development LLC
EXISTING ZONING:	Planned Unit Development (PUD)
EXISTING LAND USE:	Vacant
SIZE OF PARCELS:	2.9 acres (total)
REQUESTED ZONING:	Specific Implementation Plan (SIP) approval
PURPOSE:	Allow for a multi-family residential development – 144 units with clubhouse and associated parking.
COMPREHENSIVE PLAN:	Goal of encouraging a variety of housing types throughout the city; Goal of strengthening downtown Wausau as a multi-use activity center, including residential land uses; Future land use map = City Center
OTHER PLANS:	Wausau Metropolitan Area Housing Assessment 2022 – Pursue new construction of housing of all types and prices; Strategic Plan – Continue to collaborate with businesses to create new housing

BACKGROUND INFORMATION:

The General Development Plan (GDP) for this development was approved earlier this year by Plan Commission and Common Council. The proposed SIP adheres closely to the approved GDP, with slight modifications to the site plan, mainly to allow for larger turning radii for fire trucks. Driveway access for the clubhouse was discussed during Common Council approval, but the current plans are similar to what was approved at Plan Commission (i.e., access onto 1st Street instead of Fulton Street). Staff agrees with the current driveway configuration to 1st Street.

The attached cover letter was submitted by the developer to provide more information about the project, including how the criteria for approval from our ordinance are being addressed. The criteria are listed below for reference.

CRITERIA FOR APPROVAL

Section 23.10.45(f) of the zoning code outlines the criteria for approval of a Planned Unit Development (PUD). It states that in its review of an application for a PUD the plan commission shall make findings with respect to the ten criteria (below).

1. The proposed Planned Unit Development project is consistent with the overall purpose and intent of this title.
2. The proposed Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistency.)
3. The proposed Planned Unit Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Unit Development project, including but not limited to public sewer and water and public roads.
5. The proposed Planned Unit Development project will incorporate appropriate and adequate buffers and transitions between areas of different land uses and development densities/intensities.
6. The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site.
7. The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development.
8. The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.
9. The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions/base standard modifications variation of any standard or regulation of this title.
10. For Planned Unit Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

Some of the wording from the criteria summary provided by the developer (attached) was taken from previous staff reports, while other language was brought forward from the GDP. Staff finds the provided justification acceptable.

OTHER STAFF COMMENTS

Staff would like to note a few items from the SIP plans that may need adjusting. First, there seems to be small discrepancies between the architectural renderings and the engineering plans, particularly at the corner of Fulton and 1st Streets. The engineering plans show only a thin strip of land – approximately three (3) feet – between the clubhouse building and the sidewalk. The 3D rendering (on Sheet A005) shows a larger space where the main sign is proposed.

Besides the space allotted to the sign, the design of the sign itself is also problematic in terms of our zoning standards. It would be considered a pylon sign due to its height and therefore prohibited under standard zoning.

From the lighting plans, the style of the fixtures for the parking lot lights may also need to be discussed. In the immediate area in RiverLife, there are different styles of lights (i.e., along the River Edge trail, down the middle of Fulton Street, and in the parking lots of RiverLife) that all have similar rounded-glass globes. The proposed parking lot lights are more of a rectangular shoe-box design that may clash with the existing lights in the area. The photometric plan looks good in terms of light staying on the property, but the style of the fixtures and poles should be discussed.

STAFF RECOMMENDATION

Staff recommends approval of the Specific Implementation Plan, with the following conditions:

1. Signage for the site shall be permitted separately by staff, following the regulations of the Downtown Periphery Mixed-Use Zoning District.
2. Style of the parking lot lighting shall match existing lighting in RiverLife, as approved staff.



April 28, 2025

Mr. Doug Diny, Mayor
City of Wausau Plan Commission
407 Grant Street
Wausau, WI 54403

RE: Specific Implementation Plan – Riverlife South Development (Site 4 - Former Hammerblow Site)

Dear Mayor Diny and Members of the Plan Commission,

On behalf of WP Property Acquisitions LLC, we respectfully submit this Specific Implementation Plan (SIP) for your consideration and approval. The proposal outlines a 144-unit multifamily residential development, including a community clubhouse, located at 920 N. 1st Street, just south of Fulton Street. This plan supports the City of Wausau’s vision for “Higher Density Riverfront Residential” development by maximizing density, enhancing quality of life, and preserving open space access and river views.

SIP Overview – Solhaven Riverlife

A. Project Theme and Character

The Riverlife Planned Unit Development (PUD) was initially themed to celebrate riverfront living. Solhaven Riverlife continues this legacy with two buildings and a clubhouse, each oriented to maximize views of the Wisconsin River. The design avoids obstructing views and integrates naturally into the riverfront landscape. Pedestrian paths will connect directly to the Riverwalk, while an elevated parking field and native landscaping will buffer the Riverwalk from the development, maintaining the area’s character and enhancing ecological integrity.

B. Residential Unit Mix

The proposed development includes studios, one-bedroom, and two-bedroom units, distributed approximately as follows: 11% studios, 67% one-bedrooms, and 22% two-bedrooms. Each of the four-story buildings is designed to meet the evolving housing needs of downtown residents.

C. Density and Site Coverage

Solhaven Riverlife offers 144 units on a 2.79-acre site, resulting in a residential density of approximately 52 units per acre. Underground parking will be available for 102 units (71%). Impervious surfaces (buildings, sidewalks, and parking) will cover approximately 74% of the site, while 26% will remain landscaped. Building footprint will occupy roughly 33% of the land area.

D. Natural Features and Open Space

The site is bounded by public lands including the Riverwalk Trail and Wisconsin River to the west, Fulton Street right-of-way to the north, Riverwalk Trail to the south, and 1st Street/former railroad right-of-way to the east. The building layout allows for river views from each unit and maintains open space for community enjoyment. Parking areas will be elevated and buffered with landscaping to preserve the visual experience of the Riverwalk.

E. Relationship to Surrounding Properties

The project is largely surrounded by public property, with only three adjacent private properties along 1st Street. It respects the context of neighboring uses, integrates with the existing streetscape, and contributes positively to the urban fabric.

F. Development Statistics and Site Configuration

The 2.78-acre brownfield site will host two podium-style multifamily buildings and a clubhouse. Approximately 74% of the land will be developed (buildings and paved surfaces), with 26% landscaped. The property will require abandonment, relocation, and installation of several utilities and as a “closed” brownfield site, all development and staging activities will be conducted under WDNR oversight, including utility relocation and soil management.

G. PUD Justification

The existing PUD zoning allows for high-quality, high-density multifamily development with flexibility on setbacks, height, and impervious surface limits. This enables the realization of a vibrant, mixed-use riverfront neighborhood aligned with the East Riverfront Master Plan.

H. Zoning Standards Deviations

The Riverlife District with its existing PUD allows for relaxed requirements. Solhaven Riverlife, being built on a brownfield site that is fully impervious with multiple easements and utilities to navigate relies on the cooperation of the City to develop at the highest and best use of property, which may mean minor encroachments to City (non-ROW) property as required. Solhaven Riverlife seeks minor deviations from base standards:

- **Density:** 52 units/acre (vs. 50 allowed).
- **Impervious Surface:** 74% (vs. 60% allowed).
- **Building Height:** 60'-4" (vs. 55' maximum), due to podium parking.
- **Setbacks:** Reduced to accommodate site constraints and enhance river access.
- **Clubhouse Height:** 22'-8" (vs. 18' maximum), proposed for architectural enhancement.
- **Parking:** 1.54 spaces/unit

The height of each building acknowledges an architectural enhancement (sloped roof) that helps to define the project by its architecture. The parking plan for Solhaven Riverlife shows there are a total of 212 on-site parking spaces and 10 off-site parking spaces or 1.54 parking spaces per unit. With 144 units, this project averages 1.24 bedrooms per unit so there are roughly 25% more parking spaces per unit than required.

I. Phasing Schedule

Development is proposed as a single phase, with construction anticipated to begin in Fall 2025 and initial occupancy targeted for the end of 2026.

Additional Project Details

Site Context

The property is an environmentally remediated brownfield with ongoing WDNR oversight. Easements and utilities will be abandoned, relocated, or adapted as necessary for site development.

Access and Circulation

Two vehicular access points are proposed: one from 1st Street (clubhouse) and one from Fulton Street (apartments). The removal of the southern ear of the existing hammerhead at Fulton Street is planned to maximize development potential.

Utilities and Infrastructure

- **Water:** Mains to be partially abandoned/relocated; new 8" laterals for each building.
- **Sanitary:** Relocation of manhole to accommodate site redesign.
- **Stormwater:** Treated on-site with discharge into the City's system.
- **Utilities:** Provided by the City of Wausau and Wisconsin Public Service.

Pedestrian Access

Multiple connections to the River's Edge Trail are planned, improving public accessibility and fostering active transportation.

Signage

Architecturally integrated signage will be placed at the corner of 1st Street and Fulton Street. Wayfinding signage may be installed throughout the site.

Financing

Construction will be financed through a conventional bank loan. Wangard Development maintains strong financial relationships to support this project.

PUD Approval Criteria Summary

Section 23.10.45(f) of the zoning code outlines the criteria for approval of a Planned Unit Development (PUD). It states that in its review of an application for a PUD the plan commission shall make findings with respect to the ten criteria (below). Staff comments follow each of the criteria.

1. The proposed GDP/Planned Unit Development project is consistent with the overall purpose and intent of this title.

The planned unit development zoning was established in the East Riverfront/Riverlife area before the first redevelopment project was undertaken. The District has had a number of proposals presented, this proposal, however, with its 144 units on 2.9 acres relies on the zoning flexibility of a PUD in order to promote a unique, urban riverfront district that ensures visual access to the river and represents the highest and best use of the property.

2. The proposed GDP/Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistency.) A housing objective in the plan is to encourage a variety of housing types throughout the city.

The proposed multifamily buildings meet the needs of the community with Studios, 1Br and 2Br units, each having at least some view of the Wisconsin River and many with views of Rib Mountain and are arranged perpendicular to the River. The plan encourages the use of Planned Unit Development zoning to encourage and facilitate high quality, multifamily development with higher densities, taller buildings, smaller setbacks, but higher site and architectural standards. This PUD update ties into the Downtown objective of creating more residential use in order to make downtown a multi-use activity center. The East Riverfront Master Plan envisions this area as a vibrant urban neighborhood that is anchored by new multifamily housing choices that will support nearby entertainment, retail, and office uses.

3. The proposed Planned Unit Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.

The proposed project fits with the original master plan for the Riverlife area providing the much-needed density that will help to create a vibrant, urban, mixed-use riverfront that maintains public access to the river.

The density and intensity of land use is consistent with the original plan and will add to the experience of people living and visiting there.

4. Adequate public infrastructure is or will be available to accommodate the uses being proposed for the Planned Unit Development project, including but not limited to public sewer and water and public roads.

City sewer and water are readily available to the site. Sanitary is located at the hammerhead of Fulton Street and two water mains traverse the site. Plan includes part abandonment, reuse, and part relocation of the watermains to increase the efficiency of the project.

There are a total of 212 on-site parking spaces and 10 off-site parking spaces or 1.54 parking spaces per unit. With 144 units, this project only averages 1.24 bedrooms per unit so there are more parking spaces than required for the number of bedrooms provided.

10 surface stalls are located on the south side of Fulton Street (more to the north) and maintained by the City, though additional parking will likely be added as neighboring properties develop in the future. This allows for parking that not only serves the development but also provides river access when spaces

are not occupied by tenants. There are several Bicycle and pedestrian connections between the Development, River's Edge Trail, Fulton Street, and North 1st Street providing enhanced river access and walkability, consistent with the 2015 plan.

5. The proposed Planned Unit Development project will incorporate appropriate and adequate buffers and transitions between areas of different land uses and development densities/intensities.

Developer will work with the City to enhance the Landscaping along the trails and within the City owned land between proposed buildings and the existing three homes immediately to the east on North 1st Ave. Landscaping details will be reviewed during the Specific Implementation Plan (SIP) review in the future.

The Lighting Plan, which will need to take the natural environment, neighbors and public infrastructure into account, will be reviewed during the Specific Implementation Plan (SIP) review in the future.

6. The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site.

The project would not alter the public linear green spaces that lie adjacent to the Wisconsin River and the River's Edge Trail that connect to it. The building orientation (Perpendicular to the Wisconsin River) and the Architecture capitalize on Wisconsin River views, Rib Mountain views, and public green spaces and amenities, which include the various pathways. Detailed landscaping and lighting plans for areas adjacent to the buildings will be part of the subsequent Specific Implementation Plan (SIP) review. Project goal is to strive to orientate the buildings to ensure each of the three (3) private residences has a view of the Wisconsin River and the trails that run adjacent to it.

The view from the River's Edge Trail is also important. Plan is to raise the western edge of the parking lot to make sure automobile lights are either blocked or shine above the public utilizing the River's Edge Trail.

7. The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development.

The architecture of the buildings is comparable to nearby and citywide multifamily projects that have recently been approved. The massing of the building's "frames" the Riverfront and Fulton Street and is generally in line with existing buildings in the area.

8. The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.

The arrangement of the proposed buildings deviates from the previous general development plan and original master plan for the area by being oriented perpendicular to the river ensuring every resident (including neighbors) has a view of the river. The site plan, however, maintains public access to the river and enhances the public access to the river by providing an additional connection to the River's Edge Trail from Fulton Street and each of our apartment buildings.



Maximizing density, adjusting the orientation, and relocating some utilities enhance downtown economic activity by providing rooftops/customers (food/fuel) that feed the economic engine that is downtown Wausau.

9. The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relates to and more than compensate for any requested exceptions/base standard modifications variation of any standard or regulation of this title.

The project, as envisioned, will bring the Residents (Customers) and their daily activity to the area. It will help the city realize its vision of creating an active, urban riverfront with plenty of access to the river and features for the public. Part of creating such an environment involves not overbuilding surface parking lots. For this project, the developer would be providing 212 covered/underground parking stalls for the 144 units. An additional 10+ surface stalls count towards the proposed project, but they are located along Fulton Street and add parking for river access.

Section 23.06.06 of the City's Zoning Ordinance requires a minimum of 1.5 parking stalls per unit, depending on the number of bedrooms in each unit, with a maximum of 3 stalls per unit. Throughout the Wangard portfolio of 1700+ units we average 1.42 parking spaces per unit, which coincidentally matches the number of bedrooms. For the Riverlife project we are offering 1.54 parking stalls per unit, which should be plenty for our development and the 25+ parking stalls located along Fulton Street are for those accessing the river or visiting friends or family who live in the complex.

10. For Planned Unit Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

The Riverlife Project (South of Fulton Street) is proposed to be developed in a single phase.

Respectfully Submitted,

Mark C. Lake

Mark C. Lake, AICP, Principal
Wangard Development LLC on behalf of
WP Property Acquisitions LLC

CC: Project File
Asset Manager
Property Manager

SITE PLAN PACKAGE FOR: SOLHAVEN - RIVERLIFE

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

INDEX OF SHEETS

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SHEET C010	EXISTING SITE CONDITIONS
SHEET C020	OVERLAY SITE PLAN
SHEET C030	DEMO PLAN
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SHEET C101	SITE PLAN - SOUTH
SHEET C200	GRADING & EROSION CONTROL PLAN
SHEET C201	SPOT ELEVATIONS PLAN - NORTH
SHEET C202	SPOT ELEVATIONS PLAN - SOUTH
SHEET C203	STEP DETAIL
SHEET C300	UTILITY PLAN - NORTH
SHEET C301	UTILITY PLAN - SOUTH
SHEET C400	LANDSCAPE PLAN - OVERALL
SHEET C401	LANDSCAPE PLAN - NORTH BUILDING
SHEET C402	LANDSCAPE PLAN - SOUTH BUILDING
SHEET C403	LANDSCAPE PLAN - CLUBHOUSE
SHEET C404	LANDSCAPE NOTES & DETAILS
SHEET 1 OF 2	LIGHTING PLAN
SHEET 2 OF 2	LIGHTING DETAILS
SHEET C800	SITE DETAILS
SHEET C810	EROSION CONTROL DETAILS
SHEET C820	UTILITY DETAILS
SHEET C900	SITE SPECIFICATIONS

TOTAL SHEETS = 23

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.

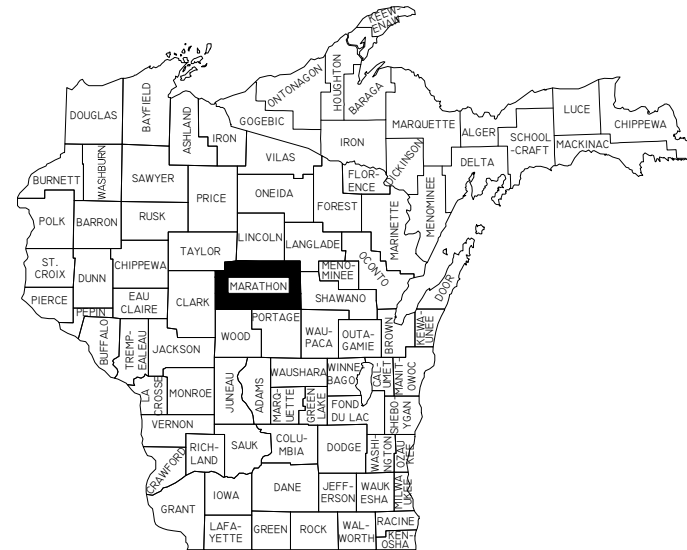


LEGEND	
	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED VEGETATIVE DRAINAGE SWALE
	PROPOSED ASPHALT DRAINAGE SWALE

LIST OF STANDARD ABBREVIATIONS

A	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
P/L	BOTTOM OF STEPS
BS	BOTTOM OF WALL
BW	CATCH BASIN
CB	CORRUGATED METAL ARCH CULVERT
CMAC	CORRUGATED METAL BOX CULVERT
CMBC	CORRUGATED METAL PIPE
CMP	CLEANOUT
CO	CONCRETE
CONC.	CORRUGATED PLASTIC PIPE
CPP	DENSE GRADED BASE
DGB	DUCTILE IRON PIPE
DIP	DOWNSIDE
D/S	EAST
(E)	ELEVATION
ELEV.	EDGE OF GRAVEL
EOG	FINISHED FLOOR ELEVATION
FFE	FINISH GRADE
FG	FIBER OPTIC
F.O.	INLET
INL	HIGH DENSITY POLYETHYLENE PIPE
HDPE	HOT MIX ASPHALT
HMA	HIGH POINT
HP	INVERT ELEVATION
IE	LINEAL FEET
LF	VARIES
LP	LOW POINT

MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
PE	POLYETHYLENE PIPE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	REINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST



TOLL FREE: 811 OR (800) 242-8511
HEARING IMPAIRED: TDD (800)542-2289
EMERGENCY ONLY: (877) 500-9592
www.DIGGERSHOTLINE.COM

PLANS ARE SUBJECT TO CHANGE BASED ON REGULATORY REVIEW COMMENTS UNTIL PLAN ISSUANCE REFLECTS CONSTRUCTION PLAN LEVEL.

REI CLIENT:
WANGARD

SURVEYOR:
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4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784

ENGINEER:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784
PROJECT ENGINEER
JIM J. BORYSENKO

APPROVING AUTHORITIES:
CITY OF WAUSAU
WDNR

DNR SERVICE CENTER
5301 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401
(715) 359-2872

CITY OF WAUSAU ENGINEERING
407 GRANT STREET
WAUSAU, WISCONSIN 54403
(715) 261-6748

WAUSAU PLUMBING INSPECTOR
407 GRANT STREET
WAUSAU, WISCONSIN 54403
(715) 261-6780

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NO SCALE



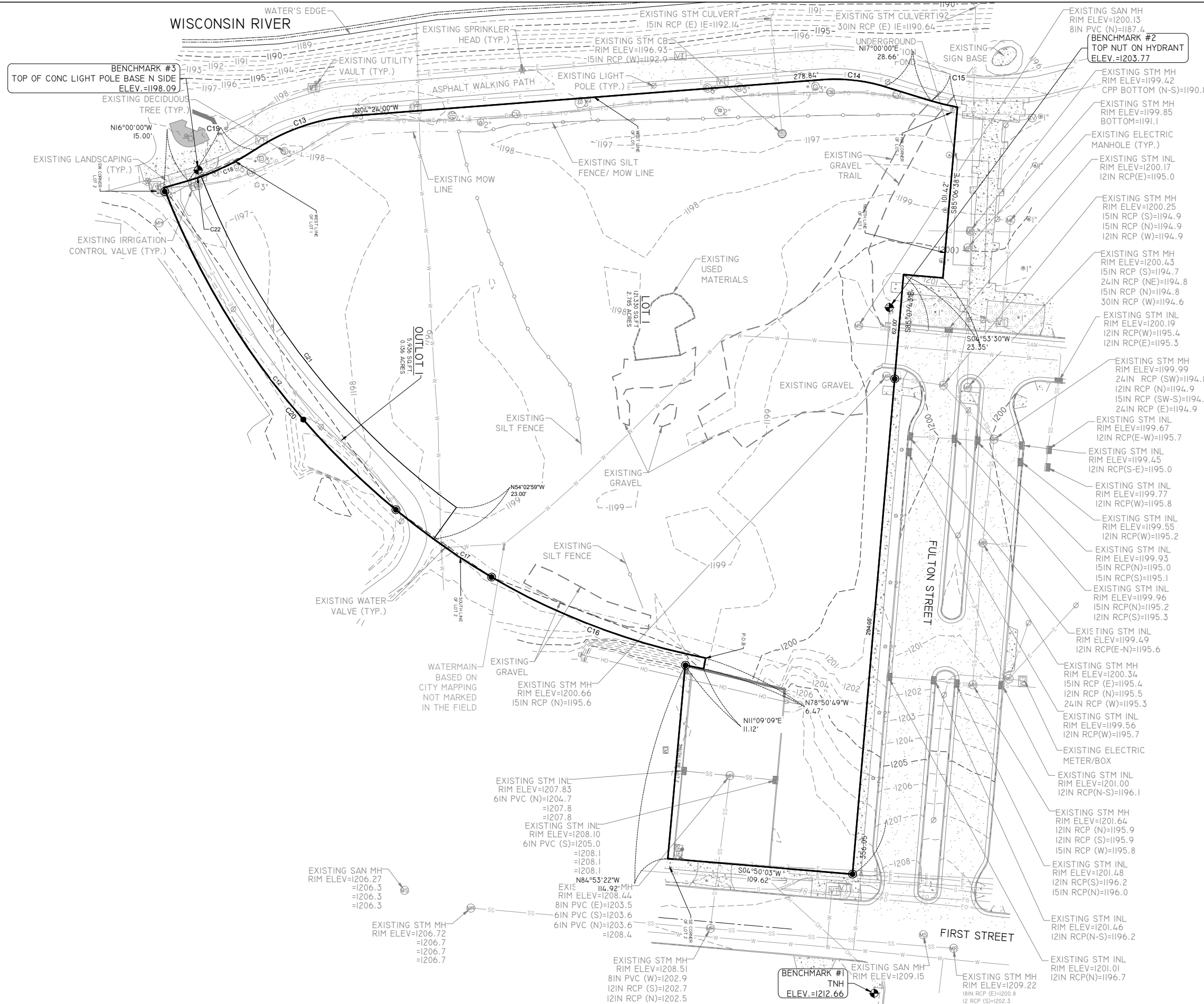
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04/29/25	SIP PACKAGE	NAP	CSS	JAF	CSS	11/25/2024
				JWP	JJB	04/23/2025
				JWP	JJB	

TITLE SHEET
SOLHAVEN - RIVERLIFE CONDOMINIUMS
FULTON STREET
WAUSAU, WI 54403

REI
REI No. 9374C
SHEET C001

DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C001-TITLE.dwg LAYOUT: C001
PLOTTED: APR 29, 2025 - 3:37PM PLOTTED BY: NATHAN

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 PLOTTED: APR 29, 2025 - 3:37PM PLOTTED BY: NATHANP

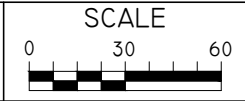


- BENCHMARK #2**
TOP NUT ON HYDRANT
ELEV.=1203.77
- BENCHMARK #1**
TNH
ELEV.=1212.66
- GENERAL NOTES**
- BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM, NAD 83(2011) DATUM AND REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, MEASURED TO BEAR SOUTH 00°04'41" EAST.
 - THE SUBJECT PROPERTY IS IN ZONE "X" AND DOES NOT LIE WITHIN A FEMA FLOOD ZONE RISK DESIGNATION AREA AS PER FIRM "CITY OF WAUSAU, MARATHON COUNTY" MAP NUMBER 55073C0384G, COMMUNITY PANEL NUMBER 5502580384G, EFFECTIVE DATE SEPTEMBER 28, 2018.
 - PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKING PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATE LOCATION OF THE UNDERGROUND UTILITIES; HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. DIGGERS TICKET #20244419006, #20244419018, #20244419030, #20244419042, #20244419002, #20244419014, #20244419028, AND #20244419039.
 - THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PAINT MARKINGS FOUND ON THE GROUND AND SHOWN HEREON AS EVIDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTILITIES ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS - THEIR SOURCE IS UNKNOWN. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK.
 - THE ZONING FOR THE SUBJECT PROPERTY AT THE TIME OF THE 2024 SURVEY WAS PUD - PLANNED UNIT DEVELOPMENT. CURRENT ZONING INFORMATION WAS NOT PROVIDED AT THE TIME OF THIS SURVEY.
 - TOTAL PARCEL AREA = 125,861 SQUARE FEET, OR 2.889 ACRES, MORE OR LESS.
 - TOTAL PARKING STALLS DELINEATED = 0.
 - THE FIELD DATE OF THIS SURVEY WAS NOVEMBER 15TH, 2024.
 - THERE WAS NO EVIDENCE OF EARTH MOVING WORK OR BUILDING ADDITIONS WITHIN RECENT MONTHS OVER THE ENTIRE SUBJECT PROPERTY. IMPROVEMENTS ARE AS SHOWN.
 - THERE HAVE NOT BEEN CHANGES IN STREET RIGHT OF WAY LINES, EITHER COMPLETED OR PROPOSED, AND INFORMATION WAS/WAS NOT AVAILABLE FROM THE CONTROLLING JURISDICTION. ALSO THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
 - THE PROPERTY SHOWN HEREON HAS DIRECT ACCESS TO FULTON STREET AND NORTH 1ST STREET, A PUBLICLY DEDICATED STREET/ROAD/RIGHT-OF-WAY.
 - ADDRESSES OBTAINED FROM MARATHON COUNTY PARCEL MAPPING ARE 920 NORTH 1ST STREET, 1106 NORTH RIVER DRIVE AND 15 FULTON STREET, WAUSAU, WISCONSIN.
 - THE SUBJECT PROPERTY IS THE SAME AS DESCRIBED IN SCHEDULE A.
 - THE ELEVATIONS AND BENCHMARKS SHOWN ARE BASED ON THE NAVD88 DATUM AND ESTABLISHED BY THE WISCORS REFERENCE SYSTEM.

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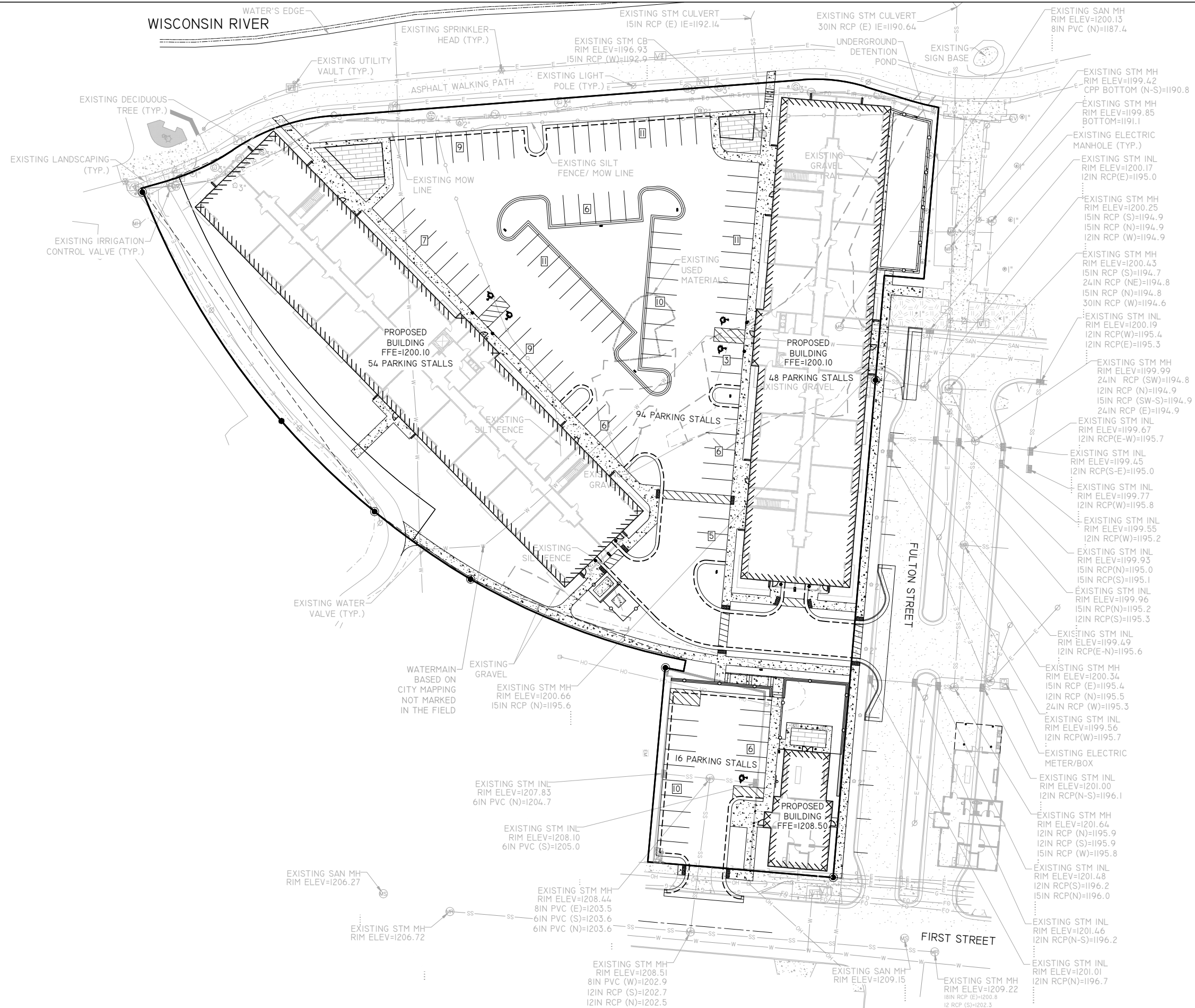


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				JAF	CSS	11/25/2024
				JWP	JJB	04/23/2025
				JWP	JJB	NAP

EXISTING SITE CONDITIONS
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C010

SITE INFORMATION	
ACREAGE	121,330 S.F. = 2,785 AC.
GREEN SPACE %	30,721 S.F. 25.3%
BUILDING S.F.	40,688 S.F.
BUILDING %	33.5%
LAND USE / ZONING	PUD

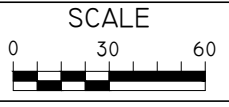


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 PLOTTED: APR 29, 2025 - 3:37PM PLOTTED BY: NATHANP

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**CIVIL & ENVIRONMENTAL
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DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
		JAF	CSS	JAF	CSS	11/25/2024
		JWP	JJB	JWP	JJB	04/23/2025
		JWP	JJB	JWP	JJB	TAW

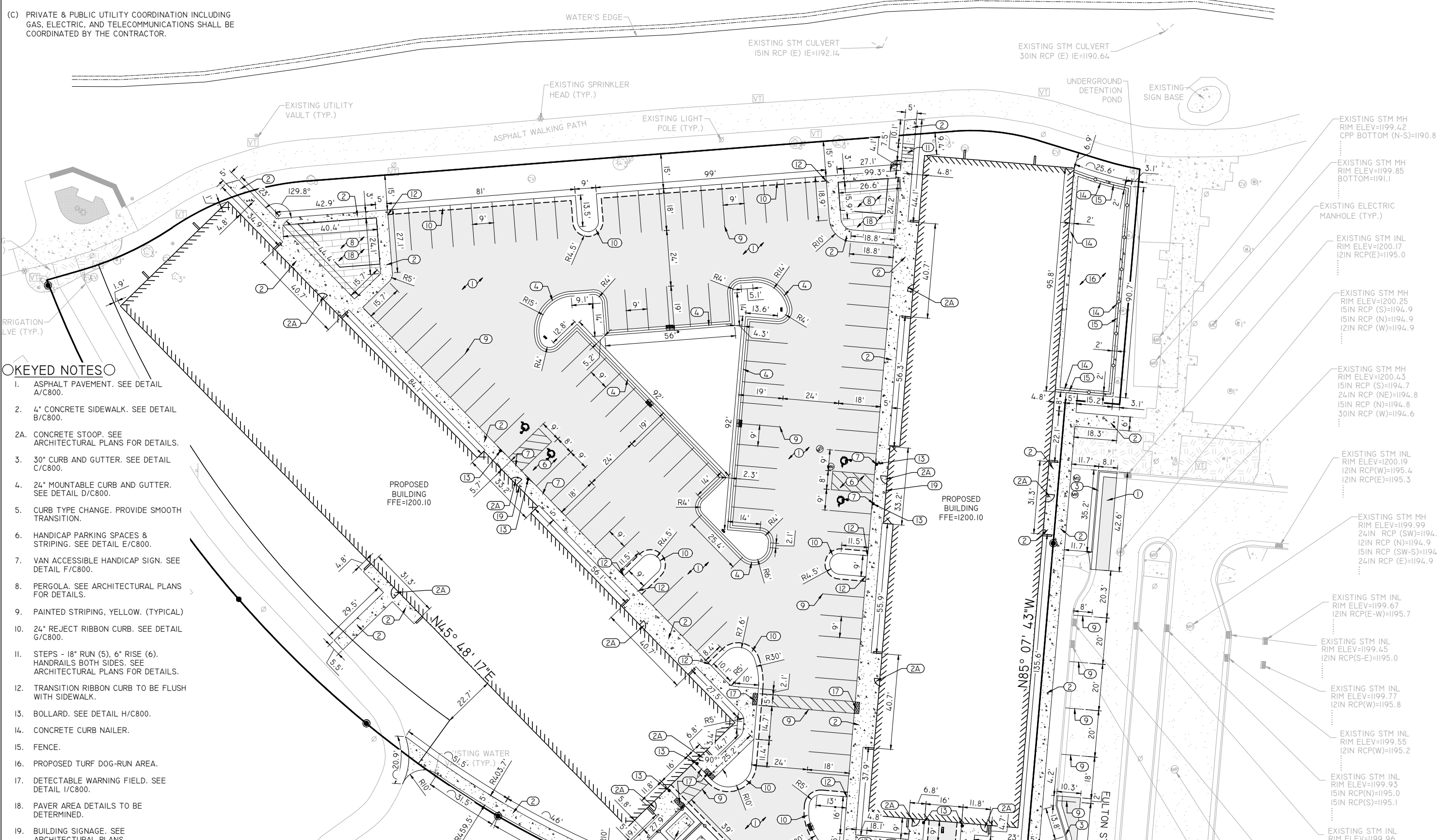
OVERLAY SITE PLAN
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C020

NOTES:

- (A) BUILDINGS ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, N45°48'17"E AND N85°07'43"W, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

WISCONSIN RIVER



KEYED NOTES

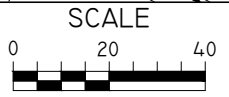
- 1. ASPHALT PAVEMENT. SEE DETAIL A/C800.
- 2. 4" CONCRETE SIDEWALK. SEE DETAIL B/C800.
- 2A. CONCRETE STOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 3. 30" CURB AND GUTTER. SEE DETAIL C/C800.
- 4. 24" MOUNTABLE CURB AND GUTTER. SEE DETAIL D/C800.
- 5. CURB TYPE CHANGE. PROVIDE SMOOTH TRANSITION.
- 6. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL E/C800.
- 7. VAN ACCESSIBLE HANDICAP SIGN. SEE DETAIL F/C800.
- 8. PERGOLA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9. PAINTED STRIPING, YELLOW. (TYPICAL)
- 10. 24" REJECT RIBBON CURB. SEE DETAIL G/C800.
- 11. STEPS - 18" RUN (5), 6" RISE (6). HANDRAILS BOTH SIDES. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 12. TRANSITION RIBBON CURB TO BE FLUSH WITH SIDEWALK.
- 13. BOLLARD. SEE DETAIL H/C800.
- 14. CONCRETE CURB NAILER.
- 15. FENCE.
- 16. PROPOSED TURF DOG-RUN AREA.
- 17. DETECTABLE WARNING FIELD. SEE DETAIL I/C800.
- 18. PAVER AREA DETAILS TO BE DETERMINED.
- 19. BUILDING SIGNAGE. SEE ARCHITECTURAL PLANS.

DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C100-SITE.DWG LAYOUT: C100 PLOTTED: APR 29, 2025 - 3:38PM PLOTTED BY: NATHANP

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		JWP	JJB	JWP	JJB	04/23/2025
		JWP	JJB	JWP	JJB	

SITE PLAN - NORTH
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C100

NOTES:

- (A) BUILDINGS ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, N45°48'17"E AND N85°07'43"W, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

KEYED NOTES

- 1. ASPHALT PAVEMENT. SEE DETAIL A/C800.
- 2. 4" CONCRETE SIDEWALK. SEE DETAIL B/C800.
- 2A. CONCRETE STOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 3. 30" CURB AND GUTTER. SEE DETAIL C/C800.
- 4. 24" MOUNTABLE CURB AND GUTTER. SEE DETAIL D/C800.
- 5. CURB TYPE CHANGE. PROVIDE SMOOTH TRANSITION.
- 6. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL E/C800.
- 7. VAN ACCESSIBLE HANDICAP SIGN. SEE DETAIL F/C800.
- 8. PERGOLA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9. PAINTED STRIPING, YELLOW. (TYPICAL)
- 10. 24" REJECT RIBBON CURB. SEE DETAIL G/C800.
- 11. STEPS - 18" RUN (2), 6" RISE (3). HANDRAILS BOTH SIDES. SEE ARCHITECTURAL PLANS FOR DETAILS
- 12. TRANSITION RIBBON CURB TO BE FLUSH WITH SIDEWALK.
- 13. BOLLARD. SEE DETAIL H/C800.
- 14. STEPS - 6" RISE (1). HANDRAILS BOTH SIDES. SEE ARCHITECTURAL PLANS FOR DETAILS
- 15. RETAINING WALL.
- 16. 42"-HIGH DECORATIVE FENCE/ GUARD COMPLIANT WITH IBC SECTION 1013.
- 17. DETECTABLE WARNING FIELD. SEE DETAIL I/C800.
- 18. PAVER AREA DETAILS TO BE DETERMINED.
- 19. MONUMENT SIGNAGE. SEE ARCHITECTURAL PLANS.
- 20. 5.75' X 11.50' GENERATOR PAD. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 21. 6.00' X 6.00' TRANSFORMER PAD. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 22. CONCRETE WALL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C100-SITE.DWG LAYOUT: C101
PLOTTED: APR 29, 2025 - 3:38PM PLOTTED BY: NATHAN

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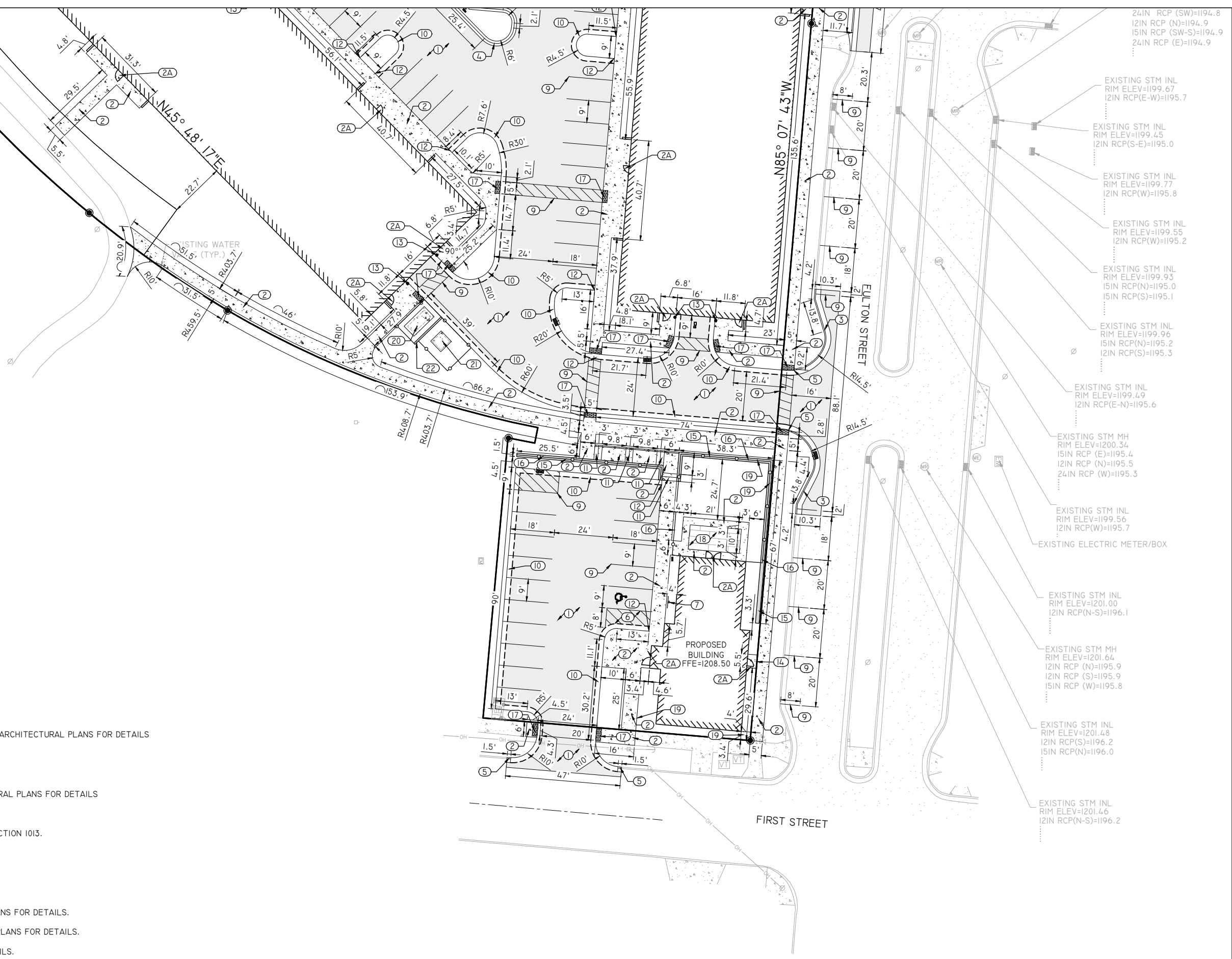
**CIVIL & ENVIRONMENTAL
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DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				JAF	CSS	11/25/2024
				SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 04/23/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

SITE PLAN - SOUTH
SOLHAVEN - RIVERLIFE CONDOMINIUMS
FULTON STREET
WAUSAU, WI 54403

REI
REI No. 9374C
SHEET C101



KEYED NOTES

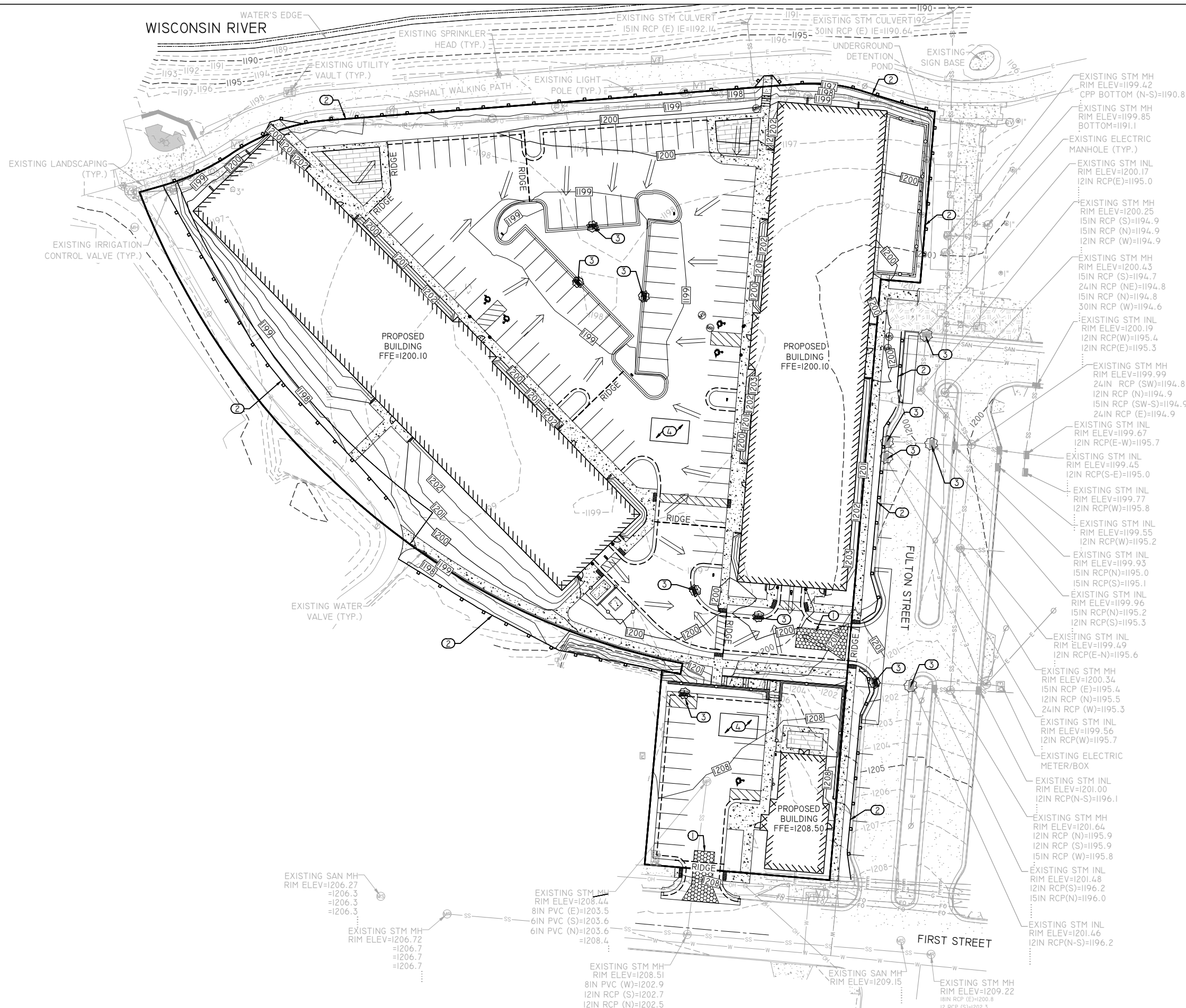
1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/C810.
2. INSTALL SILT FENCE. SEE DETAIL B/C810.
3. PROVIDE INLET PROTECTION. SEE DETAIL C/C810.
4. PROPOSED CONCRETE WASHOUT AREA. SEE DETAIL D/C810.

SUGGESTED SEQUENCING:

- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE AND INLET / CULVERT PROTECTION ON EXISTING STORM STRUCTURES
- SITE REMOVALS
- ROUGH GRADING
- BUILDING CONSTRUCTION
- SITE UTILITY INSTALLATION
- INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION / LANDSCAPING

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) SEE SHEETS C201 - C203 FOR FINE GRADING DETAIL.
- (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.



DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C200-GRADING-EC.DWG LAYOUT: C200 PLOTTED: APR 29, 2025 - 3:39PM PLOTTED BY: NATHANP

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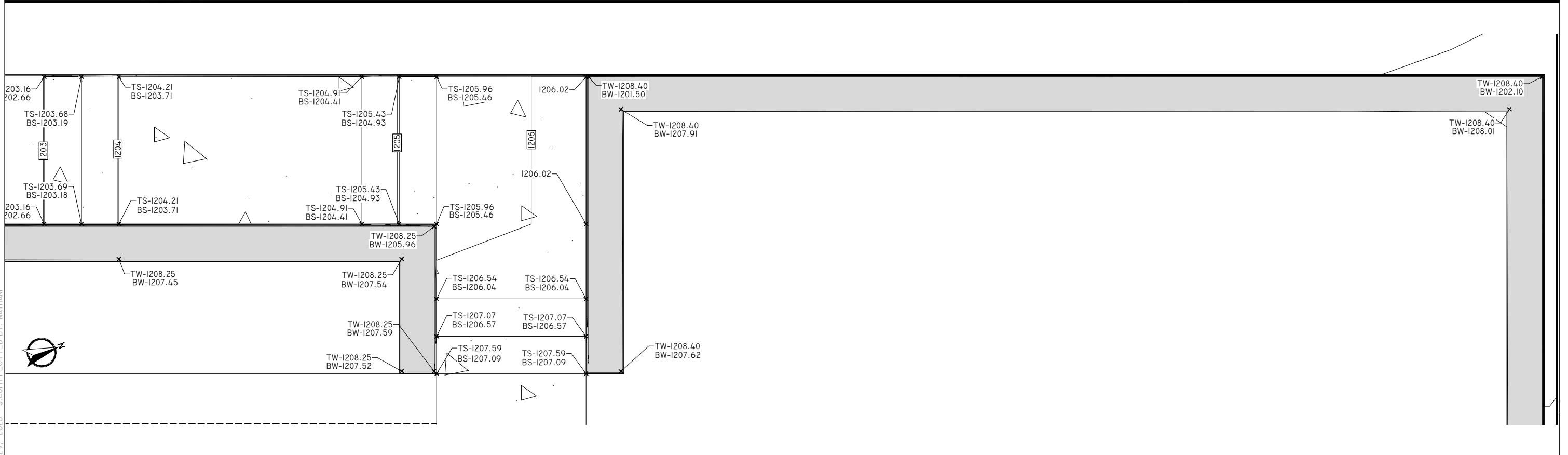
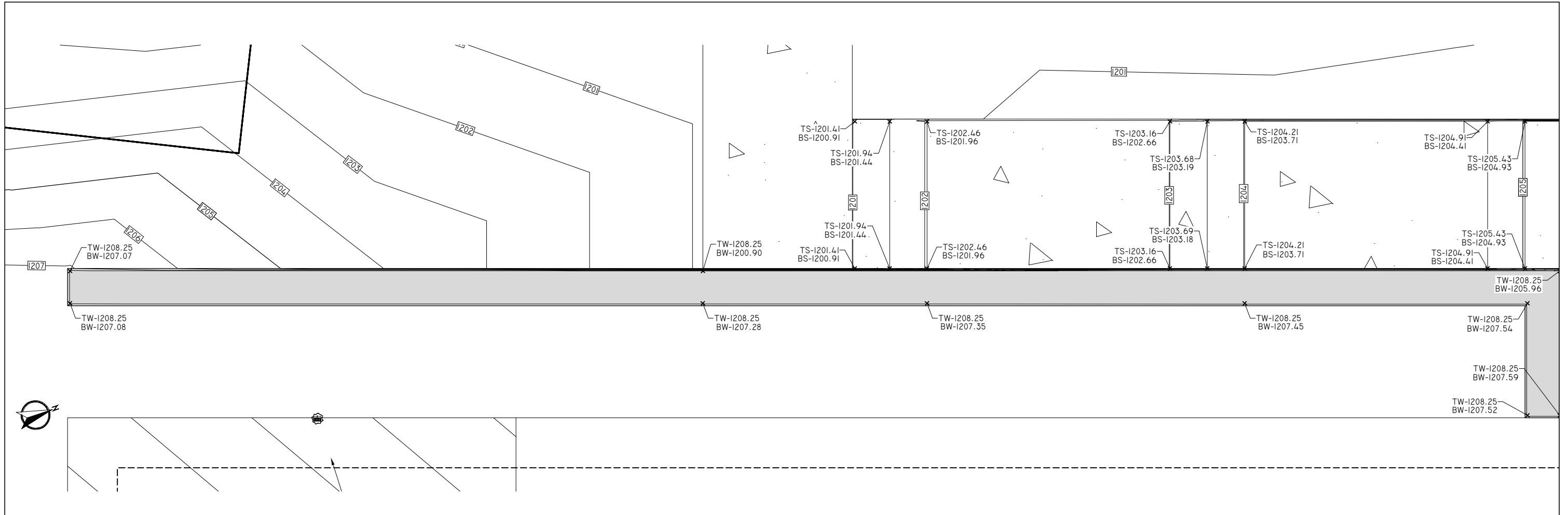
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 ENGINEERING, SURVEYING**



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
		JAF	CSS	JAF	CSS	11/25/2024
		JWP	JJB	JWP	JJB	04/23/2025
		JWP	JJB	JWP	JJB	

GRADING & EROSION CONTROL PLAN
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C200



DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C200-GRADING-EC.DWG LAYOUT: C203
 PLOTTED: APR 29, 2025 - 3:40PM PLOTTED BY: NATHANP

REI Engineering, Inc.
 4080 N. 20TH AVENUE
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 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
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				JWP	JJB	04/23/2025
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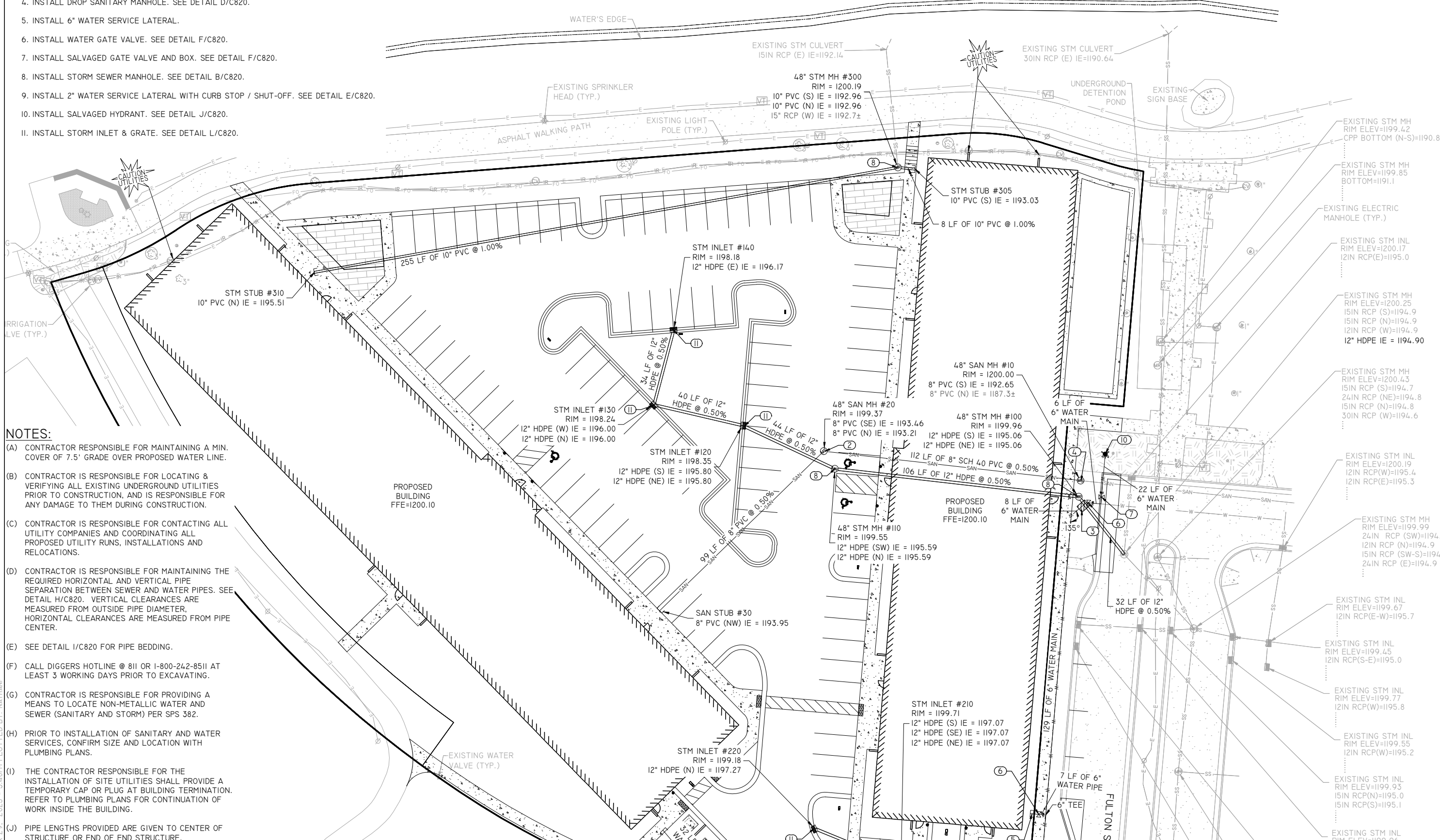
STEP DETAIL
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C203

KEYED NOTES

1. INSTALL STORM INLET & GRATE. SEE DETAIL A/C820.
2. INSTALL SANITARY MANHOLE. SEE DETAIL K/C820.
3. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL C/C820.
4. INSTALL DROP SANITARY MANHOLE. SEE DETAIL D/C820.
5. INSTALL 6" WATER SERVICE LATERAL.
6. INSTALL WATER GATE VALVE. SEE DETAIL F/C820.
7. INSTALL SALVAGED GATE VALVE AND BOX. SEE DETAIL F/C820.
8. INSTALL STORM SEWER MANHOLE. SEE DETAIL B/C820.
9. INSTALL 2" WATER SERVICE LATERAL WITH CURB STOP / SHUT-OFF. SEE DETAIL E/C820.
10. INSTALL SALVAGED HYDRANT. SEE DETAIL J/C820.
11. INSTALL STORM INLET & GRATE. SEE DETAIL L/C820.

WISCONSIN RIVER



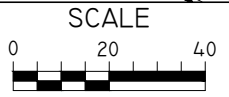
NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE REQUIRED HORIZONTAL AND VERTICAL PIPE SEPARATION BETWEEN SEWER AND WATER PIPES. SEE DETAIL H/C820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER, HORIZONTAL CLEARANCES ARE MEASURED FROM PIPE CENTER.
- (E) SEE DETAIL I/C820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH PLUMBING PLANS.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

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CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING



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		JWP	JJB	JWP	JJB	

UTILITY PLAN - NORTH
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C300

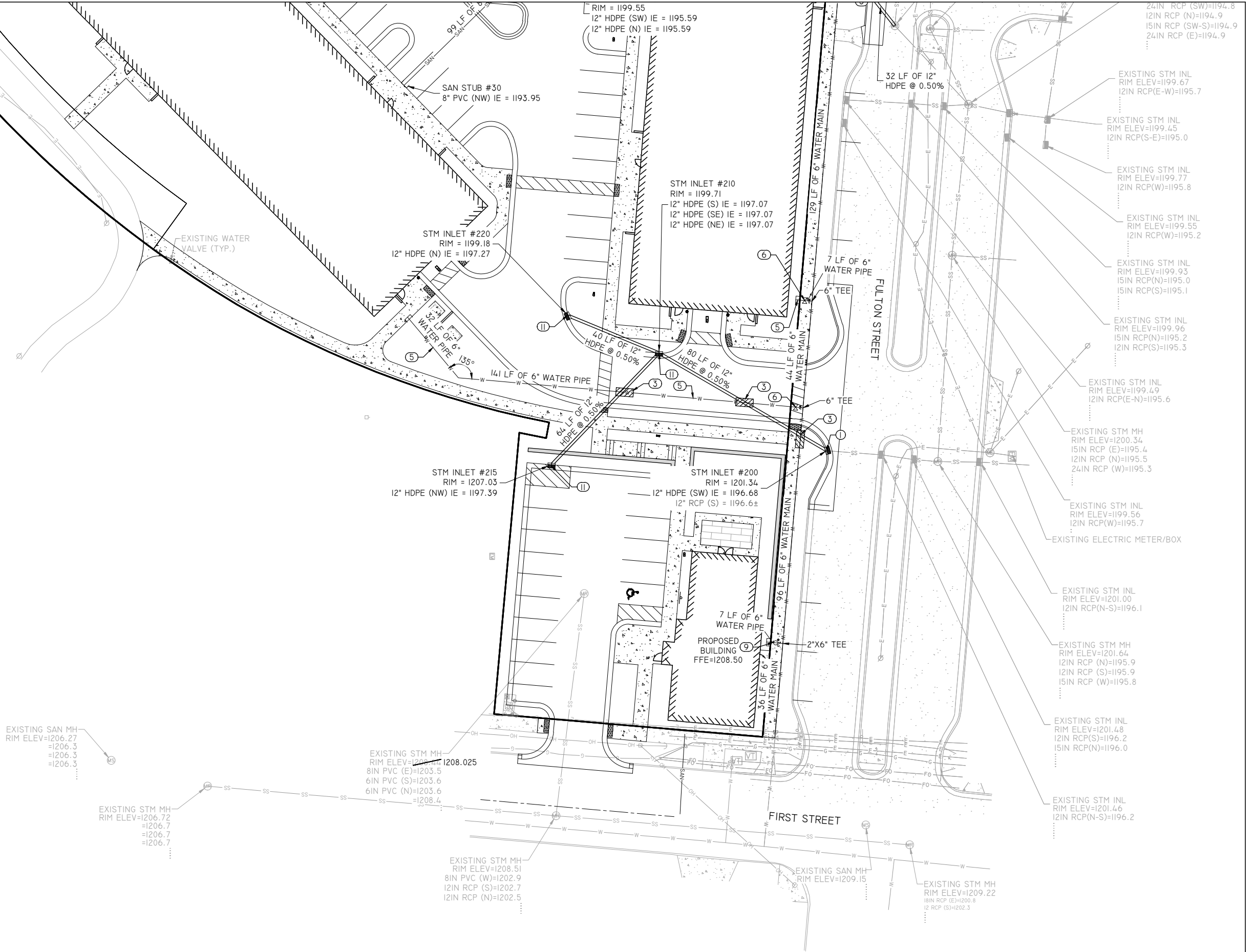
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KEYED NOTES

1. INSTALL STORM INLET & GRATE. SEE DETAIL A/C820.
2. INSTALL SANITARY MANHOLE. SEE DETAIL K/C820.
3. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL C/C820.
4. INSTALL DROP SANITARY MANHOLE. SEE DETAIL D/C820.
5. INSTALL 6" WATER SERVICE LATERAL. SEE DETAIL E/C820.
6. INSTALL WATER GATE VALVE. SEE DETAIL F/C820.
7. INSTALL 6" SANITARY SERVICE LATERAL @ 1.00% MINIMUM. SEE DETAIL G/C820.
8. INSTALL STORM SEWER MANHOLE. SEE DETAIL B/C820.
9. INSTALL 2" WATER SERVICE LATERAL WITH CURB STOP / SHUT-OFF. SEE DETAIL E/C820.
10. INSTALL HYDRANT. SEE DETAIL J/C820.
11. INSTALL STORM INLET & GRATE. SEE DETAIL L/C820.

NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5" GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE REQUIRED HORIZONTAL AND VERTICAL PIPE SEPARATION BETWEEN SEWER AND WATER PIPES. SEE DETAIL H/C820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER, HORIZONTAL CLEARANCES ARE MEASURED FROM PIPE CENTER.
- (E) SEE DETAIL I/C820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

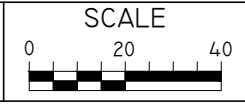


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4080 N. 20TH AVENUE
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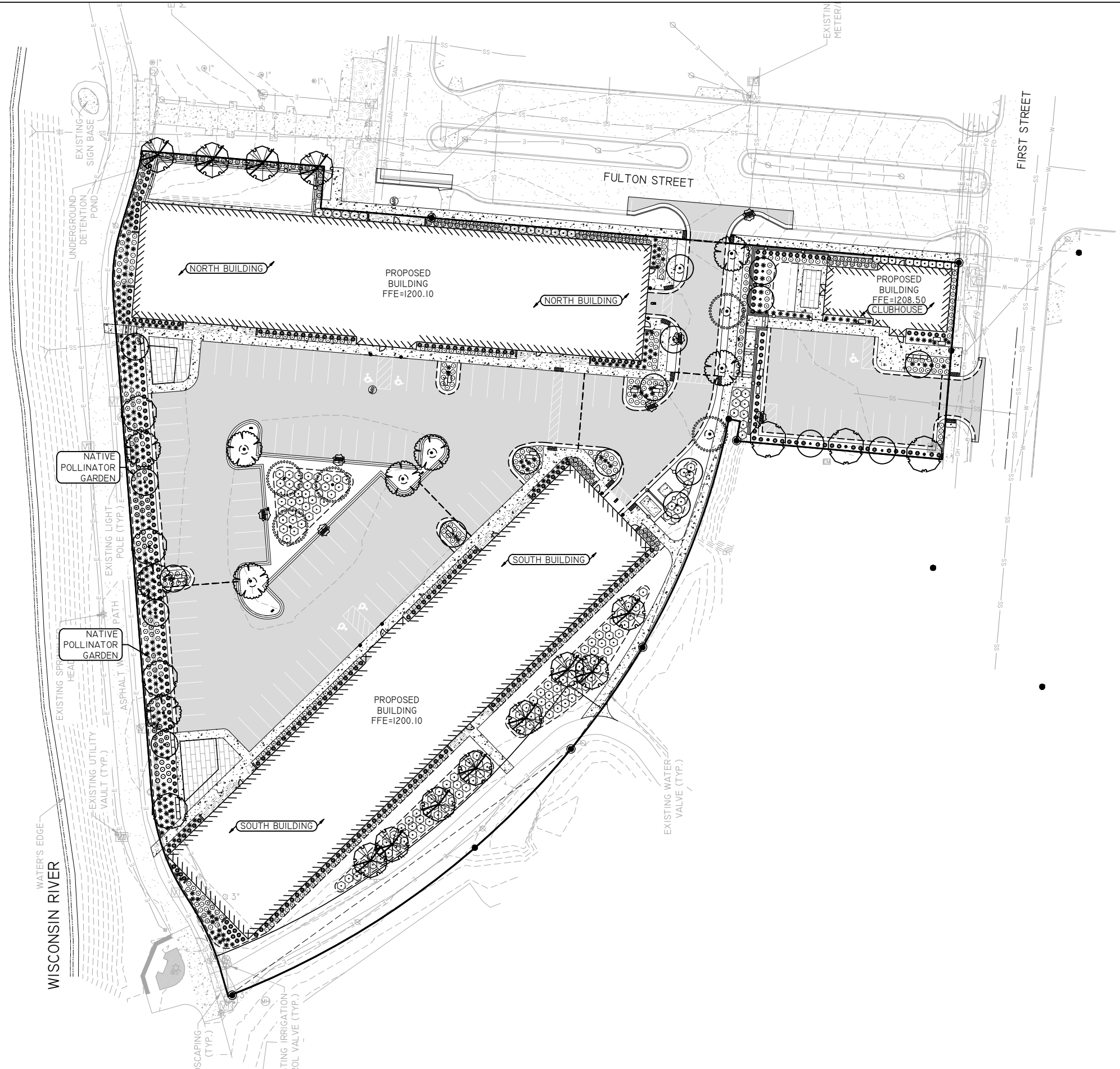


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

UTILITY PLAN - SOUTH
SOLHAVEN - RIVERLIFE CONDOMINIUMS
FULTON STREET
WAUSAU, WI 54403

REI
REI No. 9374C
SHEET C301

















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 PLOTTED: APR 29, 2025 - 3:41PM PLOTTED BY: NATHANP



KEYED NOTES

- SOD OR SEED, FERTILIZER & MULCH, *ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. APPLICATION TYPE TO BE APPROVED BY CLIENT.
- SHREDDED HARDWOOD MULCH, 3"-4" DEPTH, DARK BROWN COLOR.
- ALUMINUM EDGING, BRONZE COLOR, COMMERCIAL GRADE, TYPE/COLOR TO BE APPROVED BY CLIENT AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- SHOVEL CUT EDGE, 4"-5" DEPTH CLEAN CUT EDGE AROUND PLANTING BEDS WITHIN SOD AREAS. (REFER TO DETAILS ON SHEET C404)
- ACCENT OUTCROPPING, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)
- OUTCROPPING SEAT WALL, 12' LENGTH BENCH COMPOSED OF 3 BLOCKS SET END TO END, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)

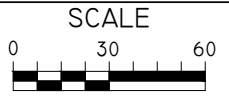
PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	PTS/PLANT	QTY
DECIDUOUS TREES						
	Red Maple	Acer rubrum	1.25" Cal.	B&B	50	18
	Red Oak	Quercus rubra	1.25" Cal.	B&B	50	5
	Sugar Maple	Acer saccharum	1.25" Cal.	B&B	50	12
	Swamp White Oak	Quercus bicolor	1.25" Cal.	B&B	50	9
	White Oak	Quercus alba	1.25" Cal.	B&B	50	7
DECIDUOUS SHRUBS						
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	3 gal.	Pot	1	187
PERENNIALS						
	Black-eyed Susan	Rudbeckia hirta	1 gal.	Pot	1	18
	Butterfly Milkweed	Asclepias tuberosa	1 gal.	Pot	1	18
	Cardinal Flower	Lobelia cardinalis	1 gal.	Pot	1	18
	Little Bluestem	Schizachyrium scoparium	1 gal.	Pot	1	183
	Ostrich Fern	Matteuccia pennsylvanica	1 gal.	Pot	1	111
	Pale Purple Coneflower	Echinacea pallida	1 gal.	Pot	1	82
	Prairie Blazing Star	Liatris pycnostachya	1 gal.	Pot	1	18
	Prairie Dropseed	Sporobolus heterolepis	1 gal.	Pot	1	308
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 gal.	Pot	1	313
	Wild Bergamot	Monarda fistulosa	1 gal.	Pot	1	18

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


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
LANDSCAPE PLAN - OVERALL
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

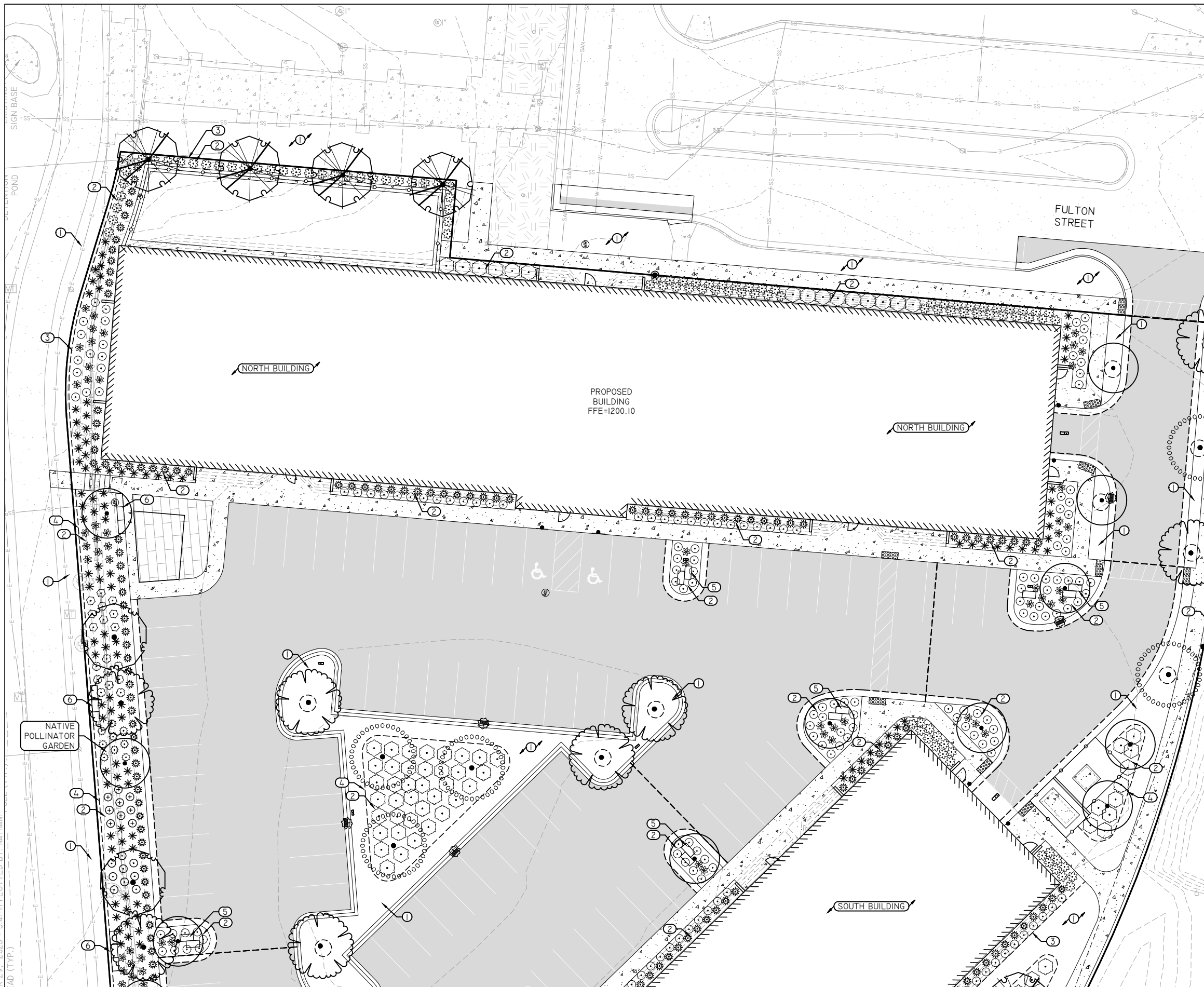
REI
 REI No. 9374C
 SHEET C400

KEYED NOTES

- SOD OR SEED, FERTILIZER & MULCH, *ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. APPLICATION TYPE TO BE APPROVED BY CLIENT.
- SHREDDED HARDWOOD MULCH, 3"-4" DEPTH, DARK BROWN COLOR.
- ALUMINUM EDGING, BRONZE COLOR, COMMERCIAL GRADE, TYPE/COLOR TO BE APPROVED BY CLIENT AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- SHOVEL CUT EDGE, 4"-5" DEPTH CLEAN CUT EDGE AROUND PLANTING BEDS WITHIN SOD AREAS. (REFER TO DETAILS ON SHEET C404)
- ACCENT OUTCROPPING, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)
- OUTCROPPING SEAT WALL, 12' LENGTH BENCH COMPOSED OF 3 BLOCKS SET END TO END, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES		
	Red Maple	Acer rubrum
	Red Oak	Quercus rubra
	Sugar Maple	Acer saccharum
	Swamp White Oak	Quercus bicolor
	White Oak	Quercus alba
DECIDUOUS SHRUBS		
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'
PERENNIALS		
	Black-eyed Susan	Rudbeckia hirta
	Butterfly Milkweed	Asclepias tuberosa
	Cardinal Flower	Lobelia cardinalis
	Little Bluestem	Schizachyrium scoparium
	Ostrich Fern	Matteuccia pennsylvanica
	Pale Purple Coneflower	Echinacea pallida
	Prairie Blazing Star	Liatris pycnostachya
	Prairie Dropseed	Sporobolus heterolepis
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'
	Wild Bergamot	Monarda fistulosa



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 (TYP.)

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SCALE




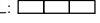
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				JAF	CSS	11/25/2024
				JWP	JJB	04/23/2025
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LANDSCAPE PLAN - NORTH BUILDING
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

















REI
 REI No. 9374C
 SHEET C401



KEYED NOTES

1. SOD OR SEED, FERTILIZER & MULCH, *ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. APPLICATION TYPE TO BE APPROVED BY CLIENT.
2. SHREDDED HARDWOOD MULCH, 3"-4" DEPTH, DARK BROWN COLOR.
3. ALUMINUM EDGING, BRONZE COLOR, COMMERCIAL GRADE, TYPE/COLOR TO BE APPROVED BY CLIENT AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
4. SHOVEL CUT EDGE, 4"-5" DEPTH CLEAN CUT EDGE AROUND PLANTING BEDS WITHIN SOD AREAS. (REFER TO DETAILS ON SHEET C404)
5. ACCENT OUTCROPPING, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)
6. OUTCROPPING SEAT WALL, 12' LENGTH BENCH COMPOSED OF 3 BLOCKS SET END TO END, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES		
	Red Maple	Acer rubrum
	Red Oak	Quercus rubra
	Sugar Maple	Acer saccharum
	Swamp White Oak	Quercus bicolor
	White Oak	Quercus alba
DECIDUOUS SHRUBS		
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'
PERENNIALS		
	Black-eyed Susan	Rudbeckia hirta
	Butterfly Milkweed	Asclepias tuberosa
	Cardinal Flower	Lobelia cardinalis
	Little Bluestem	Schizachyrium scoparium
	Ostrich Fern	Matteuccia pennsylvanica
	Pale Purple Coneflower	Echinacea pallida
	Prairie Blazing Star	Liatris pycnostachya
	Prairie Dropseed	Sporobolus heterolepis
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'
	Wild Bergamot	Monarda fistulosa

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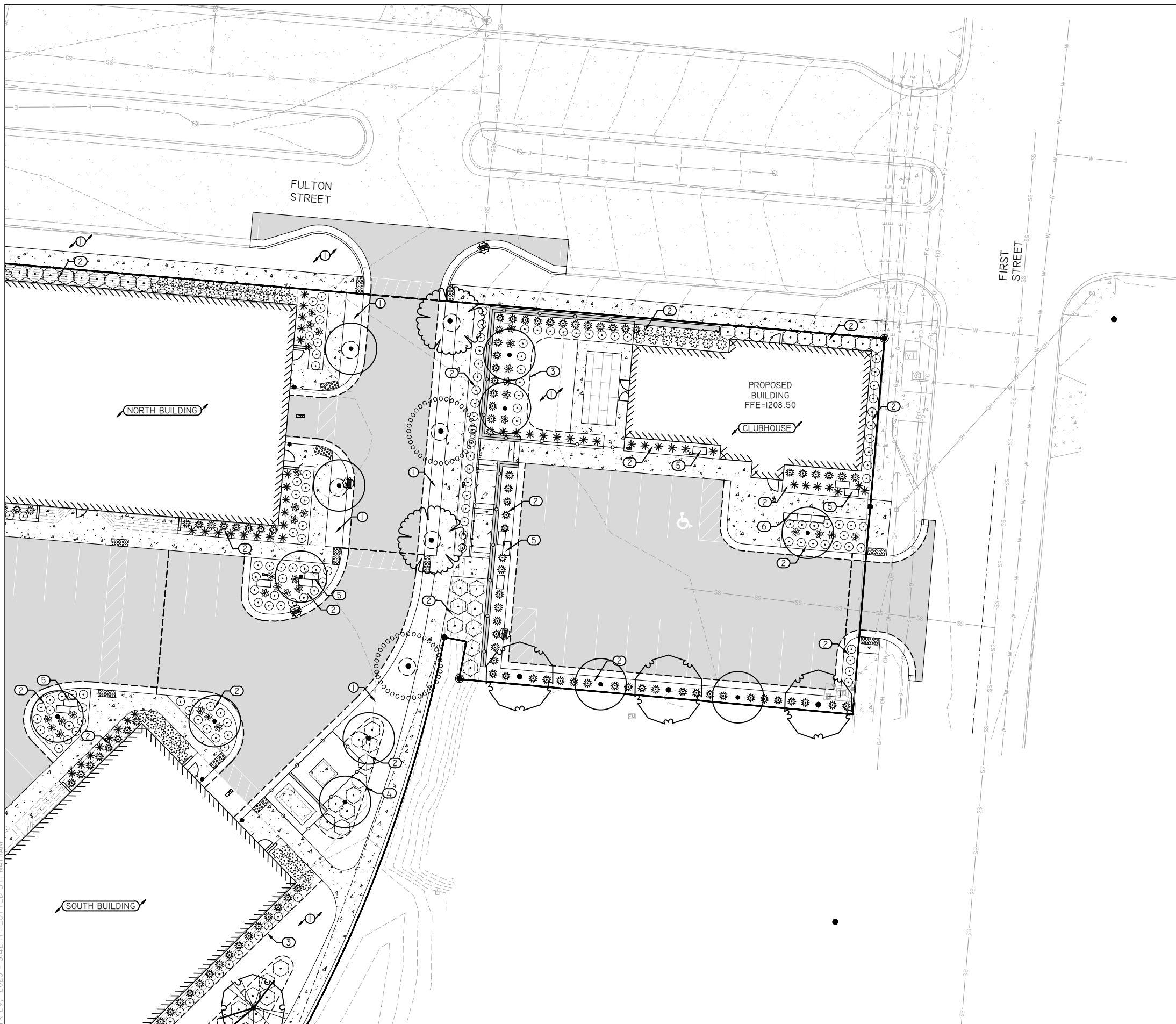
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
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				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: KJS

LANDSCAPE PLAN - SOUTH BUILDING
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

















REI
 REI No. 9374C
 SHEET C402



KEYED NOTES

1. SOD OR SEED, FERTILIZER & MULCH, *ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. APPLICATION TYPE TO BE APPROVED BY CLIENT.
2. SHREDDED HARDWOOD MULCH, 3"-4" DEPTH, DARK BROWN COLOR.
3. ALUMINUM EDGING, BRONZE COLOR, COMMERCIAL GRADE, TYPE/COLOR TO BE APPROVED BY CLIENT AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
4. SHOVEL CUT EDGE, 4"-5" DEPTH CLEAN CUT EDGE AROUND PLANTING BEDS WITHIN SOD AREAS. (REFER TO DETAILS ON SHEET C404)
5. ACCENT OUTCROPPING, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)
6. OUTCROPPING SEAT WALL, 12' LENGTH BENCH COMPOSED OF 3 BLOCKS SET END TO END, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:  (REFER TO DETAILS ON SHEET C404)

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES		
	Red Maple	Acer rubrum
	Red Oak	Quercus rubra
	Sugar Maple	Acer saccharum
	Swamp White Oak	Quercus bicolor
	White Oak	Quercus alba
DECIDUOUS SHRUBS		
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'
PERENNIALS		
	Black-eyed Susan	Rudbeckia hirta
	Butterfly Milkweed	Asclepias tuberosa
	Cardinal Flower	Lobelia cardinalis
	Little Bluestem	Schizachyrium scoparium
	Ostrich Fern	Matteuccia pennsylvanica
	Pale Purple Coneflower	Echinacea pallida
	Prairie Blazing Star	Liatris pycnostachya
	Prairie Dropseed	Sporobolus heterolepis
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'
	Wild Bergamot	Monarda fistulosa

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PLOTTED: APR 29, 2025 - 3:42PM PLOTTED BY: NATHANP

REI Engineering, Inc.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

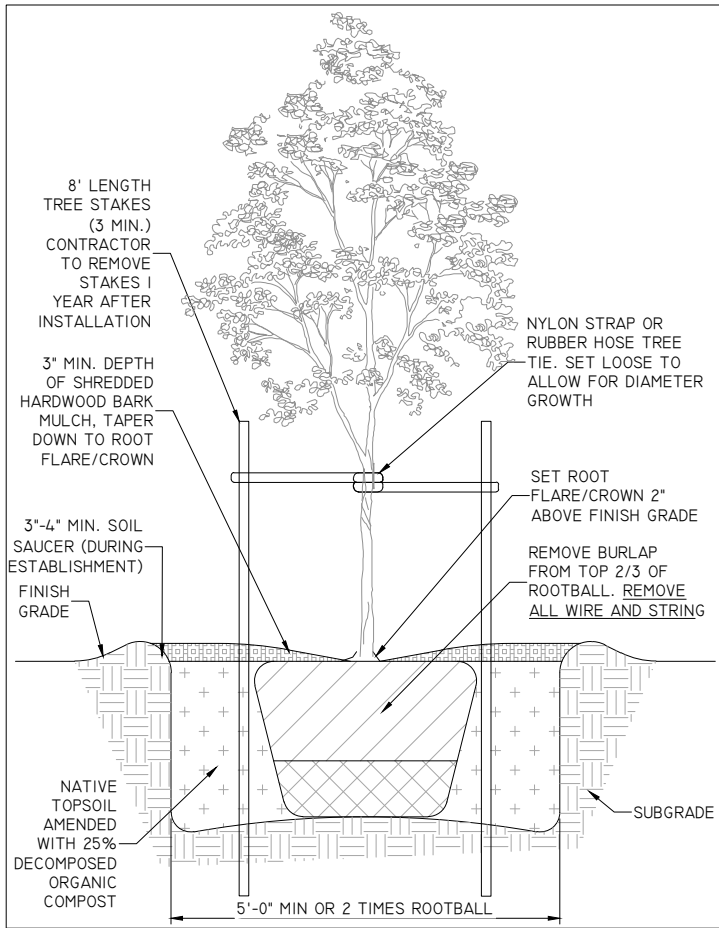
**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



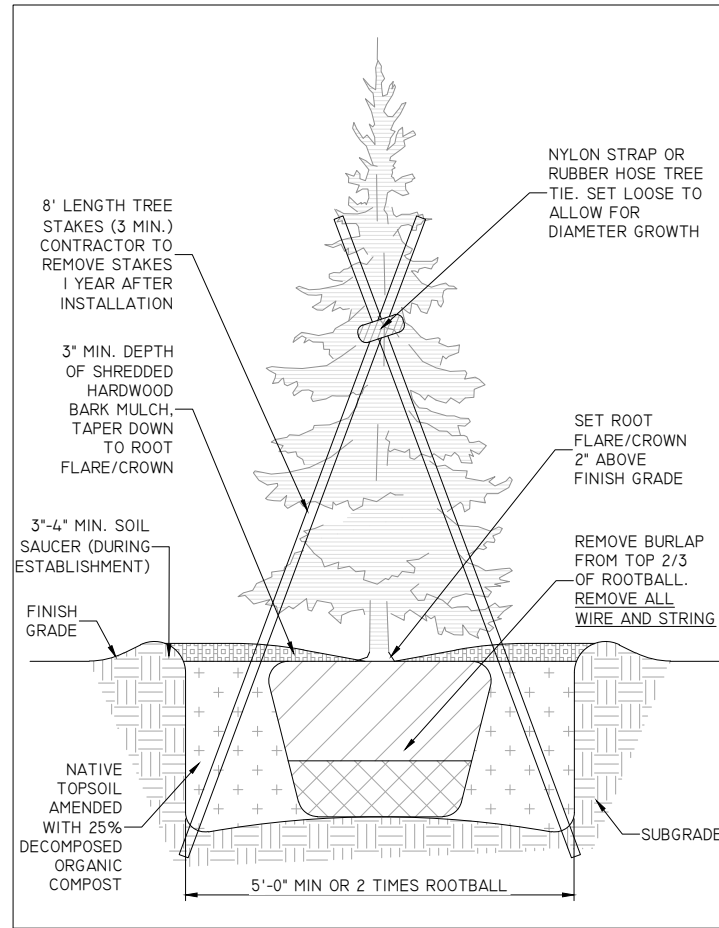
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				JAF	CSS	11/25/2024
				JWP	JJB	04/23/2025
				JWP	JJB	

LANDSCAPE PLAN - CLUBHOUSE
SOLHAVEN - RIVERLIFE CONDOMINIUMS
FULTON STREET
WAUSAU, WI 54403

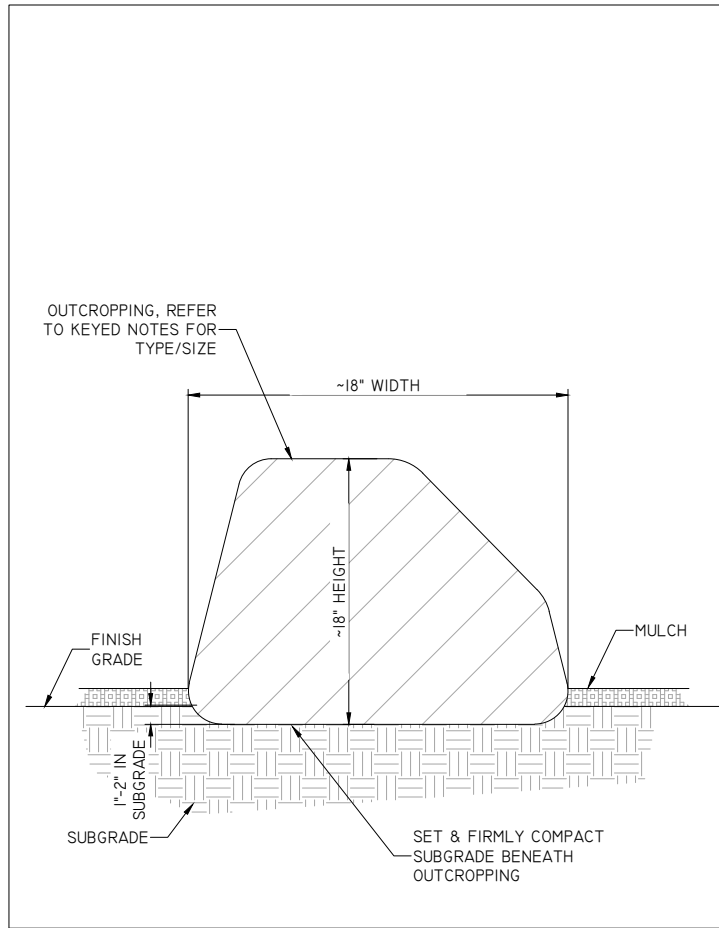
REI
REI No. 9374C
SHEET C403



DECIDUOUS TREE - PLANTING DETAIL



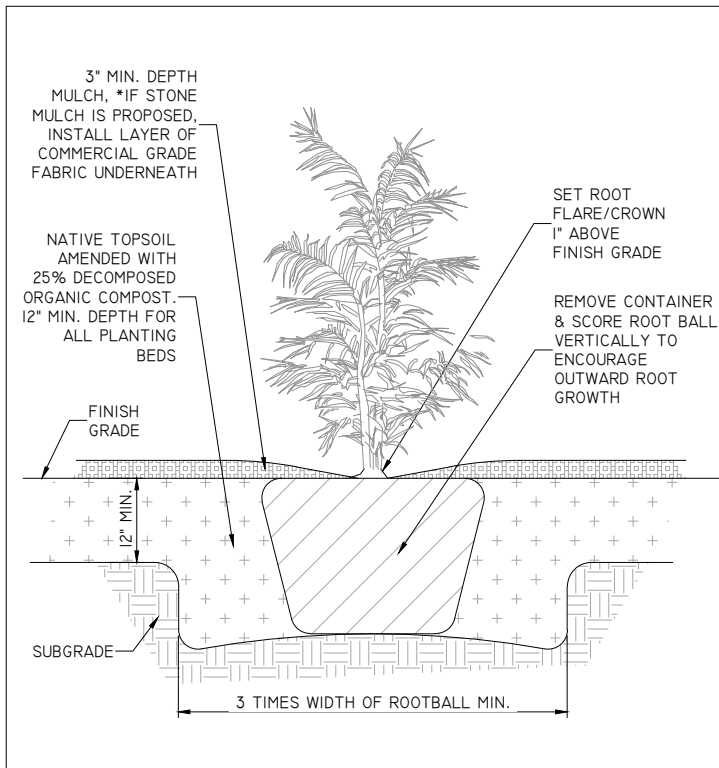
EVERGREEN TREE - PLANTING DETAIL



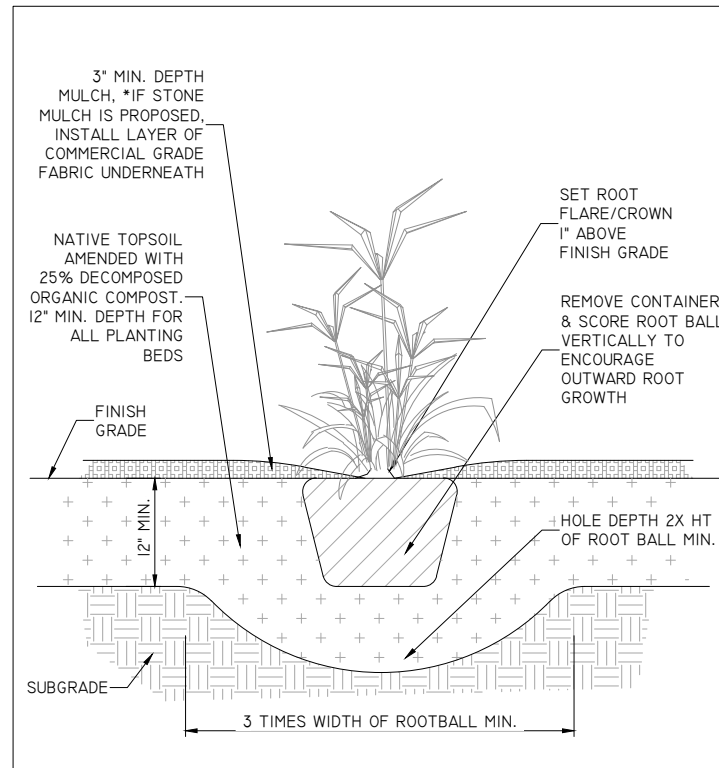
OUTCROPPING/SEAL WALL - DETAIL

GENERAL NOTES:

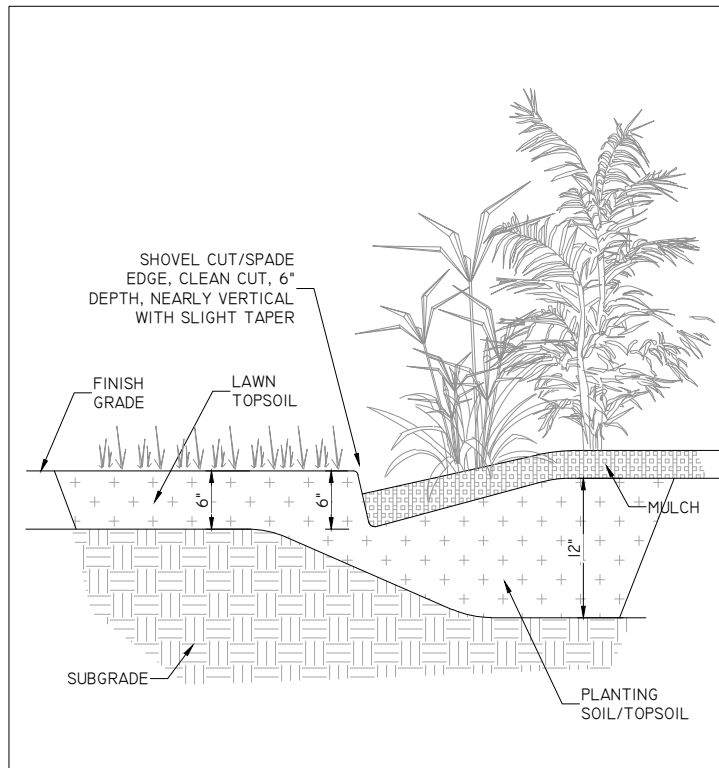
- (A) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 5 WORKING DAYS PRIOR TO DEMOLITION, EXCAVATION OR ANY CONSTRUCTION ACTIVITY.
- (C) ALL PLANT MATERIAL SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION OF PROJECT AND ACCEPTANCE BY OWNER, WITH A ONE TIME REPLACEMENT WARRANTY UPON REQUEST BY OWNER. WARRANTY EXPIRES AFTER FIRST FULL YEAR FOLLOWING PROJECT COMPLETION.
- (D) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 6" TOPSOIL DEPTH FOR ALL AREAS TO BE SEEDED/SODDED THROUGHOUT PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO SEED/SOD. TOPSOIL SHALL BE CLEAN AND FREE OF STONES, WEEDS AND OTHER UNDESIRABLE DEBRIS.
- (E) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 12" PLANTING SOIL DEPTH FOR ALL PROPOSED PLANTING BED AREAS THROUGHOUT THE PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO PLANT INSTALLATION. PLANTING SOIL & AREA SHALL BE CLEAN AND FREE OF STONES, WEEDS, CONCRETE WASTE AND OTHER UNDESIRABLE DEBRIS.
- (F) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING TOPSOIL AND SEEDING OR SODDING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- (G) CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER LANDSCAPE CONSTRUCTION ACTIVITIES ARE COMPLETE AND APPROVED BY OWNER. *THIS TO BE DONE DAILY AS DEEMED NECESSARY BY MUNICIPALITY.



SHRUB - PLANTING DETAIL



PERENNIAL - PLANTING DETAIL



SHOVEL CUT EDGE - DETAIL

DRAWING FILE: P:\9300-9399\9374C - WANGARD - RIVERLIFE\DRAWING\PLANS\9374C-C400-LANDSCAPE.DWG LAYOUT: C404
PLOTTED: APR 29, 2025 - 3:42PM PLOTTED BY: NATHANP

REI Engineering, INC.
4080 N. 20TH AVENUE
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PHONE: 715.675.9784, FAX: 715.675.4060
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ENGINEERING, SURVEYING**

SCALE

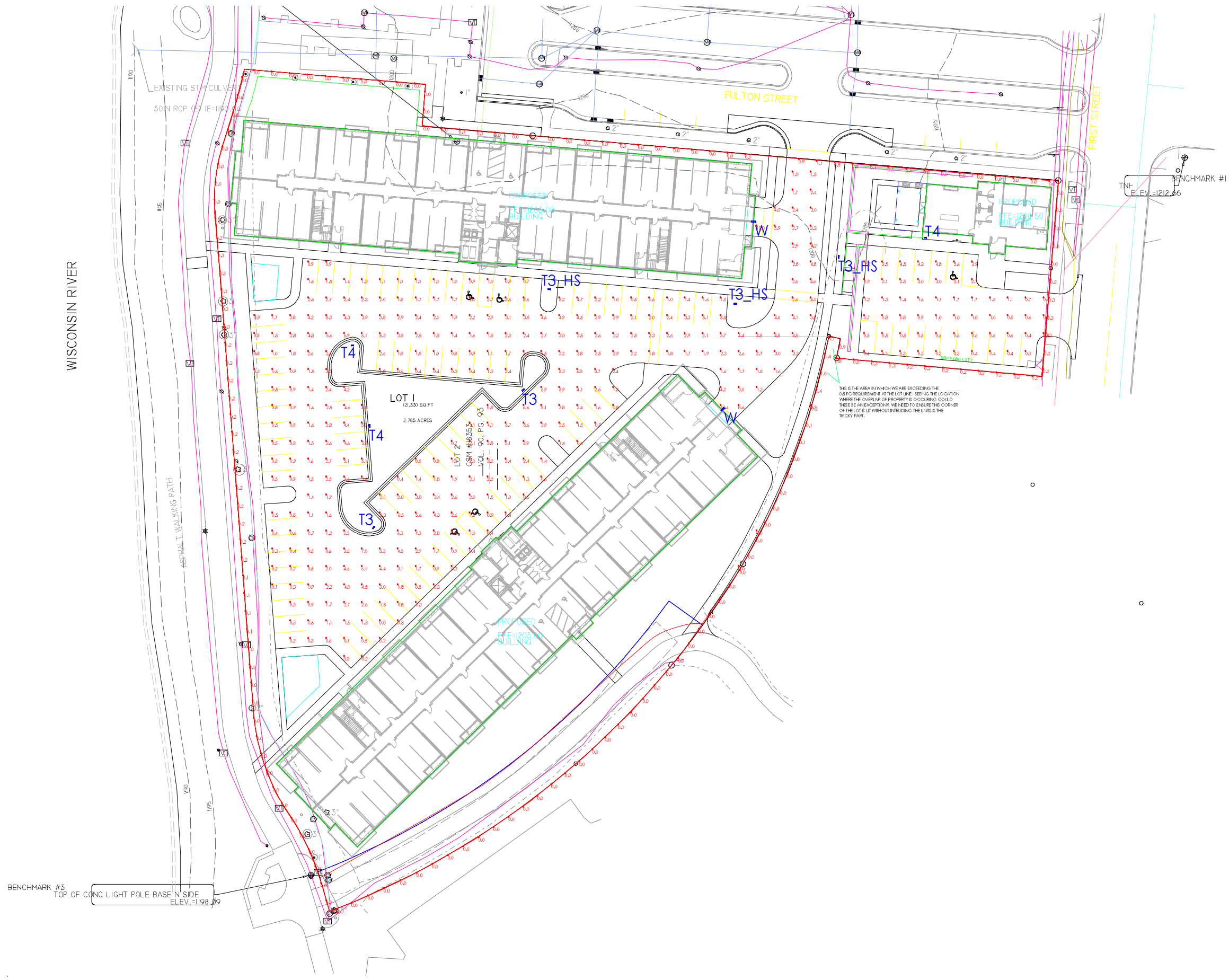


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				JAF	CSS	11/25/2024
				JWP	JJB	04/23/2025
				JWP	JJB	

LANDSCAPE NOTES & DETAILS
SOLHAVEN - RIVERLIFE CONDOMINIUMS
FULTON STREET
WAUSAU, WI 54403

REI
REI No. 9374C
SHEET C404

WISCONSIN RIVER



Scale: 1 inch= 26 Ft.

Luminaire Schedule					
Symbol	Qty	Label	Description	Luminaire Watts	Total Watts
	3	T3 HS	LED AREA LIGHT W/ HOUSE SIDE SHIELD ON A 20' SSS POLE	125	375
	2	T3	LED AREA LIGHT ON A 20' SSS POLE	125	250
	3	T4	LED AREA LIGHT ON A 20' SSS POLE	125	375
	2	W	LED FULL CUTOFF WALL PACK	40	80

Calculation Summary				
Label	Units	Avg	Max/Min	Max
LOT CALCS	Fc	2.3	N.A.	19.0
PROPERTY LINE	Fc	0.1	N.A.	1.7

To request the Project Quotation for these materials or to place the order, please contact: Sales@LightingDesignSolutions.com or call us at 1-888-357-7070



PROJECT INFORMATION: NEW CONSTRUCTION SOLHAVEN RIVERLIFE	DRAWN BY: A. THOMER	REVIEWED BY: A. THOMER	DATE:
	CONTRACTOR:	APPROVED BY:	
Lighting Design Solutions, Inc. Milwaukee Office: 955A Walnut Ridge Drive Harland, WI 53029 Design@LightingDesignSolutions.com www.LightingDesignSolutions.com		Schofield Office: PO Box 375 Schofield, WI 54476 Office: 888.357.7070 Fax: 715.693.2594	

These plans, schedules, calculations, and lighting concepts are the property of Lighting Design Solutions (LDS) and are not to be shared, reproduced, viewed, or used in any manner without the explicit written permission of LDS. All luminaires and accessories purchased for this project are to be supplied by LDS unless other arrangements that include additional reimbursement for design costs are codified in a pre-approved written agreement with LDS.

These plans are not approved for construction unless specifically noted. They have not been reviewed or approved by any local or state agency, nor has the building owner confirmed final acceptance of the design or materials. Once approved, the final product details, voltages, accessories and quantities are the responsibility of the installing contractor and are to be fully verified by the contractor prior to release of order. Lead time for luminaires will vary but should be assumed to be 4-6 weeks after release unless specifically noted as "in-stock" or "quick ship" on the LDS Project Quotation.

Lighting performance and energy calculations are based on photometric data provided by the specified manufacturers, expected site finishes, anticipated energy costs, current rebate programs, and the projected operational use of the facility. Lighting Design Solutions, Inc. accepts no responsibility for variances resulting from inaccurate or changed data files, drawings, reflectance values, or rebate programs, and guarantees no alternate funding or rebate payment.

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

M Series

Product Description:
 The M Series product family provides a slim, clean design with tremendous versatility for outdoor lighting applications. A single housing houses an either an Area, Flood or Wall fixture depending on the optics and mounting to choose from 3 color temperatures in a single product. It also includes a controls ready receptacle that allows the customer to add either basic controls, such as an on/off photocell or motion sensor, or network control nodes for grouping and more sophisticated control functions. Beyond the standard features, additional options and accessories include high voltage (277-480V), battery backup, visual comfort lens, back light shield and visors. The M Series family provides a comprehensive site design solution for your outdoor lighting needs.

Installation:
 • 6 mountings available - straight arm, flexible arm, truss/splitter, trunion, variable (adjustable) wall, fixed wall

Construction:
 • Die cast aluminum housing with corrosion resistant polyester powder coat finish
 • UV stabilized polycarbonate lens

Application:
 • Area - 6 optic: Type 3 Medium, Type 4 Narrow, Type 4 Wide, Type 5 Square, Type 3 & 8 Low Glare
 • Flood - 3 optic: Narrow 4x4, Concentrated Wide 6x6, and Soft Wide 6x7
 • Wall - 4 optic: Type 3 Medium and Low Glare, Type 4 Narrow and Wide

Mounting:
 • Area - flexible labor saving slot design
 • Splitter fits 2 3/8" - 3" OD tanons and bull horns
 • Round pole adapters for 3", 4" and 5" round poles

Features:
 • Covers 3 applications - Area, Flood and Wall
 • 4 sizes, 9 wattages - 40/55W, 75/100W, 125/150W and 200/250/320W
 • Multiple mounting options for wall, area and flood applications
 • Comprehensive range of optic choices for area, flood and wall design requirements
 • HV - 277-480V option
 • CCT Selection - 3000/4000/5000K
 • Compatible with field installable e-Max controls
 • Av-On controls compatible (factory installed)
 • TAA Compliant

10 Year Standard Warranty with labor allowance (further details available at www.maxlite.com/warranty)
 Warranty Limitations: Product must be rated for application per the Product Data Sheet (PDS); operated 516 hrs. in ambient temperature -40°F to 104°F; if ambient temperatures fall outside the -40°F to 104°F range, product is warranted for 6 years according to the operating temperature range specified on the PDS. Up to \$25/unit; registration required. Additional coverage may be available for purchase, contact MaxLite. Excludes EM/MS versions; component warranty applies.

Phone: 1-800-888-8828 Fax: 973-244-7932 Web: www.maxlite.com Email: info@maxlite.com PLM# 882 Rev: 01/16/2023

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

WallMax Full Cutoff Wall Pack

Product Description:
 WallMax Full Cutoff Wall Packs are a full cutoff architectural wall mounted fixture ideal for commercial office, school and other public administrative buildings. It offers a wide range of outputs and options including CCT selectability so the customer can choose between 3000K, 4000K and 5000K color temperatures.

Features:
 • CCT selectable between 3000K, 4000K or 5000K
 • Wattage Selectable - 28W and 100W versions
 • Sealed housing - control nodes are mounted internally without impacting the fixture sealing or aesthetics
 • 4 x 1/2" conduit holes, one on each side for surface conduit applications

Controls Options:
 • Internal photocell with on/off switch included standard
 • Controls Ready for field installable e-Max controls

Construction:
 • Die Cast Aluminum housing with polycarbonate LED lens

Listings:
 • UL listed for Wet Locations, Outdoor
 • IP65
 • DLC Premium
 • Not all product variations listed on this page are DLC qualified. Visit <https://www.designlights.org/search/> to confirm qualification.
 • RoHS Compliant

Ordering Structure

FAMILY	WATTAGE	VOLTAGE	DISTRIBUTION	CCT	FINISH	CONTROLS OPTIONS	EH OPTIONS**
WPC28TA-CBSPCCR	18w 15W 28w 20W	120-277V 18 or 277-480V	T4 Type IV	C5e 3,4/5K Selectable	Die Cast Bronze	PCCB+ C5e Controls Ready (Standard, see accessories chart for control choices) PCCB+ Photocell with on/off switch (Standard) Recommended using future FC instead of PC function in e-Max	BLANK+ None BOP+ Battery Backup CIC+ Cyclic E2+ Battery Backup -20°C

Stocked Items

MODEL NUMBER	ORDER CODE	DLC ID#	MODEL NUMBER	ORDER CODE	DLC ID#
WPC125TA-CBSPCCR	10849	P30L2B3	WPC125TA-CBSPCCR	10849	P30L2C02
WPC200TA-CBSPCCR	10849	P30P3A6	WPC200TA-CBSPCCR	10849	PEA23SE
WPC320TA-CBSPCCR	10847	PAF6108	WPC100TA-ACBSPCCR	10842	PBT99AV

10 Year Standard Warranty with labor allowance (further details available at www.maxlite.com/warranty)
 Warranty Limitations: Product must be rated for application per the Product Data Sheet (PDS); operated 516 hrs. in ambient temperature -40°F to 77°F; if ambient temperatures fall outside the -40°F to 77°F range, product is warranted for 6 years according to the operating temperature range specified on the PDS. Up to \$25/unit; registration required. Additional coverage may be available for purchase, contact MaxLite. Excludes EM/MS versions; component warranty applies.

Phone: 1-800-888-8828 Fax: 973-244-7932 Web: www.maxlite.com Email: info@maxlite.com PLM# 884 Rev: 11/21/23

Symbol	Qty	Label	Description	Luminaire Watts	Total Watts
T3	3	T3 HS	LED AREA LIGHT W/ HOUSE SIDE SHIELD ON A 20' SSS POLE	125	375
T3	2	T3	LED AREA LIGHT ON A 20' SSS POLE	125	250
T4	3	T4	LED AREA LIGHT ON A 20' SSS POLE	125	375
W	2	W	LED FULL CUTOFF WALL PACK	40	80

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

M Series

Ordering Information

FAMILY	WATTAGE	VOLTAGE	DISTRIBUTION	CCT	COLOR	MOUNTING
M+ M Series	40-40W 28-28W 75-75W 100-100W 125-125W 150-150W 200-200W 250-250W 320-320W	120-277V 18 or 277-480V	30" Type 3 Low Glare 30" Type 3 Medium 40" Type 4 Narrow** 40" Type 4 Wide 55" Type 5 Square/Flood Soft Wide (6x7) N+ Narrow Flood (4x4) W+ Flood Concentrated Wide (6x6), Type 6 Low Glare	CP+ 3000/4000/ 5000K	B+ Dark Bronz C+ Matte or A+ Anodized Finish	A+ Straight Arm, Pole Mount F+ Flexible Arm, Pole Mount K+ Knuckle Slip Fitter T+ Trunion V+ Variable (Adjustable) W+ Fixed Wall Mount W+ Fixed Wall Mount

Options:
 C5e - C-Max Compatible (Standard)
 AV+ Av-on Controls (Factory Installed)
 E2+ Battery Backup, 0°C, Fixed Wall Mount Only (120V or 277V only)
 E2+ Battery Backup, -20°C, Fixed Wall Mount Only (120V or 277V only)

Other Controls:
 *RPC+ 3-pin Twist Lock Receptacle
 *PR7+ 7-pin Twist Lock Receptacle

Product Video:
<https://youtu.be/7b2X8vZDcW>

e-Max Installation Video:
<https://youtu.be/7b2X8vZDcW>

Accessories

MODEL NUMBER (FIELD INSTALLABLE)	ORDER CODE	DESCRIPTION	IMAGE
RFAS-B	106229	3" Round pole adaptor, Labor saving slotted drill pattern, Bronze	
RFAS-F	106240	4" Round pole adaptor, Labor saving slotted drill pattern, Bronze	
RFAS-S	106241	5" Round pole adaptor, Labor saving slotted drill pattern, Bronze	
CN-RDPCB	105569	e-Max Photocell node round, Bronze, IP65, Used with control ready fixtures	
CN-RDMSB	105566	e-Max Control node round, PIR Motion sensor/photocell, Bronze, IP65, Used with control ready fixtures*	
CN-REMOTE	105567	e-Max Remote Control, at least 1 per project to program motion sensor (CN-RDMSB)	
NN-RDB	105597	Network Node Round, Bronze**	
NN-RDMPB	106255	Network Node Round, PIR Motion Sensor, Photocell, Bronze**	
NN-RDW	106391	Network Node Round, White	
MBL540-55W	106258	M Series Back Light Shield 40/55W*	
MBL575-100W	106303	M Series Back Light Shield 75/100W*	
MBL5125W+	106304	M Series Back Light Shield 125W+, order 1 for 125/150W, 2 for 200W+ versions*	
MVCL40-55W	106305	M Series Visual Comfort Lens 40/55W*	
MVCL75-100W	106306	M Series Visual Comfort Lens 75/100W*	
MVCL125W+	106307	M Series Visual Comfort Lens 125W+, order 1 for 125/150W, 2 for 200W+ versions*	
MVISOR40-55W	106321	M Series - top/bottom Visor 40/55W, Bronze*	
MVISOR75-100W	106322	M Series - top/bottom Visor 75/100W, Bronze*	
MVISOR125-150W	106323	M Series - top/bottom Visor 125/150W, Bronze*	
MVISOR250-320W	106324	M Series - top/bottom Visor 200/250/320W, Bronze*	
PCTL-LNV	72055	Twist-Lock Electronic Photocell 120V/208/240/277V (requires RPC fixture option)	
PCTL-HV	1408282	Twist-Lock Electronic Photocell 480V (requires RPC fixture option)	
EM2-REMOTE-MT	111294	Field Installable Remote Mount - 20°C Battery Backup (For Universal (120-277V) Products Only)	

Dimensions

Phone: 1-800-888-8828 Fax: 973-244-7932 Web: www.maxlite.com Email: info@maxlite.com PLM# 882 Rev: 01/16/2023

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

WallMax Full Cutoff Wall Pack

Accessories

MODEL #	ORDER CODE	DESCRIPTION	IMAGE
CN-ETHST*	105864	C-MAX RECTANGULAR MOTION SENSOR/PC, REQUIRES REMOTE CONTROL TO PROGRAM, USE INTERNAL PHOTOCELL, AND DISABLE THE PHOTOCELL ON THE SENSOR (CN-ETHST)	
CN-REMOTE	105867	C-MAX REMOTE CONTROL, AT LEAST ONE REQUIRED PER PROJECT TO PROGRAM MOTION SENSOR	
CEA-RDP*	107785	EXTERNAL BRONZE ADAPTER FOR FIELD INSTALLED ROUND C-MAX NETWORK CONTROL NODS	
NN-RDB*	105897	C-MAX NETWORK CONTROL NODE ROUND BRONZE (REQUIRES CEA TO INSTALL AND C-MAX APP TO PROGRAM)	
NN-RDHP*	105225	C-MAX NETWORK CONTROL NODE ROUND MOTION SENSOR/PC BRONZE (REQUIRES CEA TO INSTALL AND C-MAX APP TO PROGRAM)	

Specifications

	WPC28	WPC28	WPC28	WPC40	WPC70	WPC100
	19 WATTS DETAILS					
	30 WATTS DETAILS					
	38 WATTS DETAILS					
	40 WATTS DETAILS					
	70 WATTS DETAILS					
	100 WATTS DETAILS					
CCT	SELECTABLE BETWEEN 3000/4000/5000K					
Input Power (W)	18	20	28	40	70	100
Efficiency (lm/W)	140-150	140-150	130-140	130-144	130-144	124-138
Lumens	2,100-2,300	2,800-3,000	3,800-4,100	5,000-5,500	9,400-10,100	12,400-13,200
CRI	≥80					
L70 Lifetime (hrs)	≥100,000					
Voltage	120-277V	120-277V	120-277V (277-480V available)		120-277V (277-480V available)	
Power Factor	≥0.9					
Dimming	0-10V and high-end trim (with e-Max Controls)					
Controls	Photocell with on/off switch included and compatible with field installable e-Max controls standard					
Battery Backup	120V or 277V only, 800-600 lumens, life minimum in 12V 10' grid at 10-11' mounting height, 0°C 18W, -20°C 14W. During EM mode the product will operate at 500K only.					
Operating Temperature	-20° to 134°F (-4°C to 40°C)					
Certification	eULus, DLC Premium, FCC, T24 and RoHS Compliant					
Construction	Die Cast Aluminum housing with corrosion resistant polyester paint and UV stabilized impact resistant polycarbonate lens					
Environment	Outdoor Wet Location and IP65					
Warranty	10 Year Standard Warranty					

Dimensions

Phone: 1-800-888-8828 Fax: 973-244-7932 Web: www.maxlite.com Email: info@maxlite.com PLM# 884 Rev: 11/21/23

Label	Units	Avg	Max/Min	Max
LOT CALCS	Fc	2.3	N.A.	19.0
PROPERTY LINE	Fc	0.1	N.A.	1.7

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

M Series

Dimensions

Phone: 1-800-888-8828 Fax: 973-244-7932 Web: www.maxlite.com Email: info@maxlite.com PLM# 882 Rev: 01/16/2023

MaxLite **eMax** **CONTROL COMPATIBLE**

PROJECT NAME: _____ CAT # _____
 NOTES: _____ FIXTURE SCHEDULE _____

WallMax Full Cutoff Wall Pack

Dimensions

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To request the Project Quotation for these materials or to place the order, please contact:
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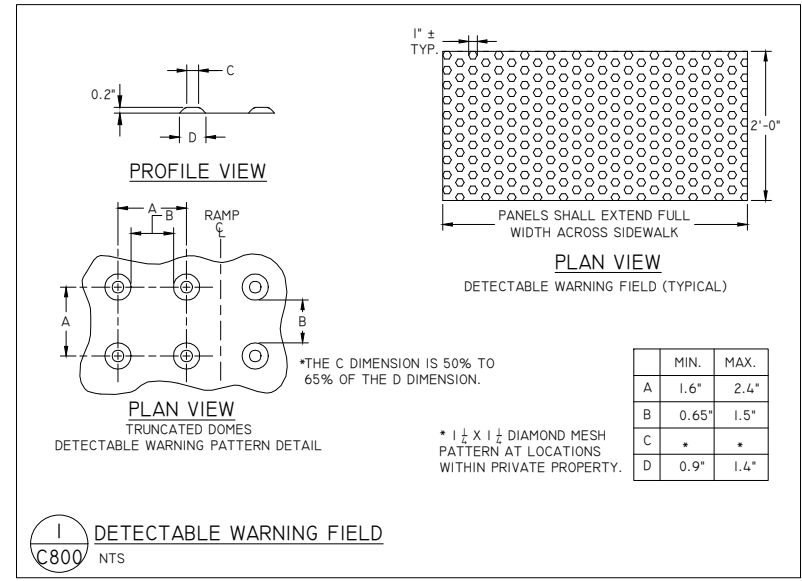
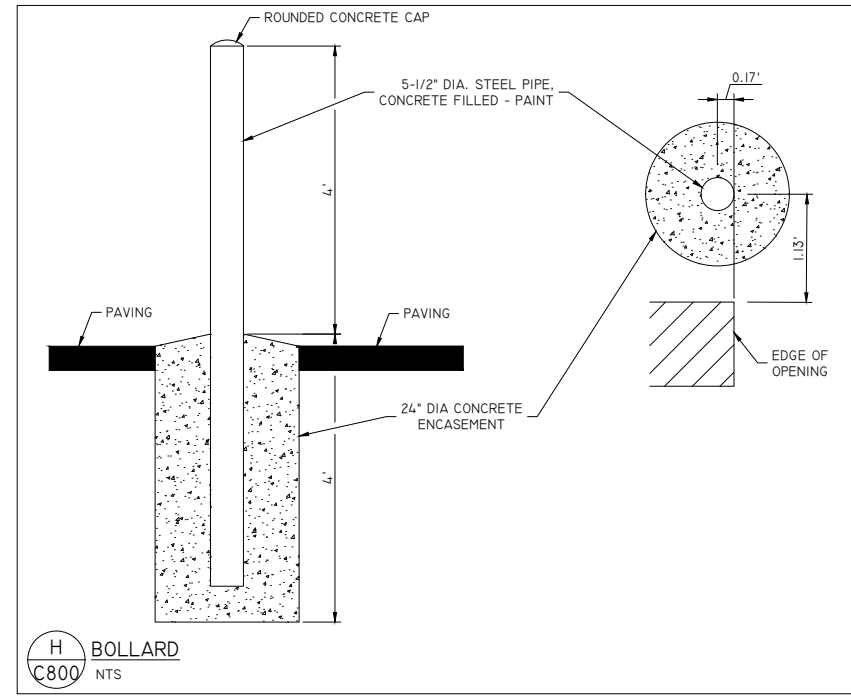
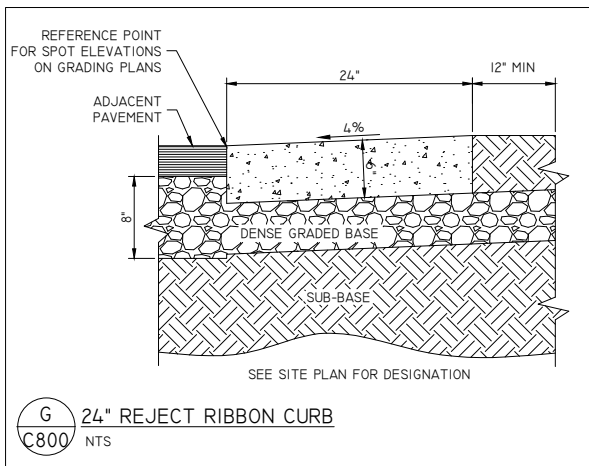
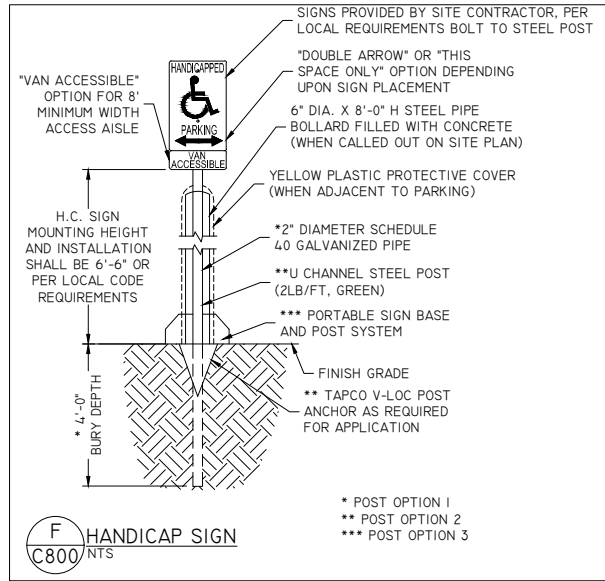
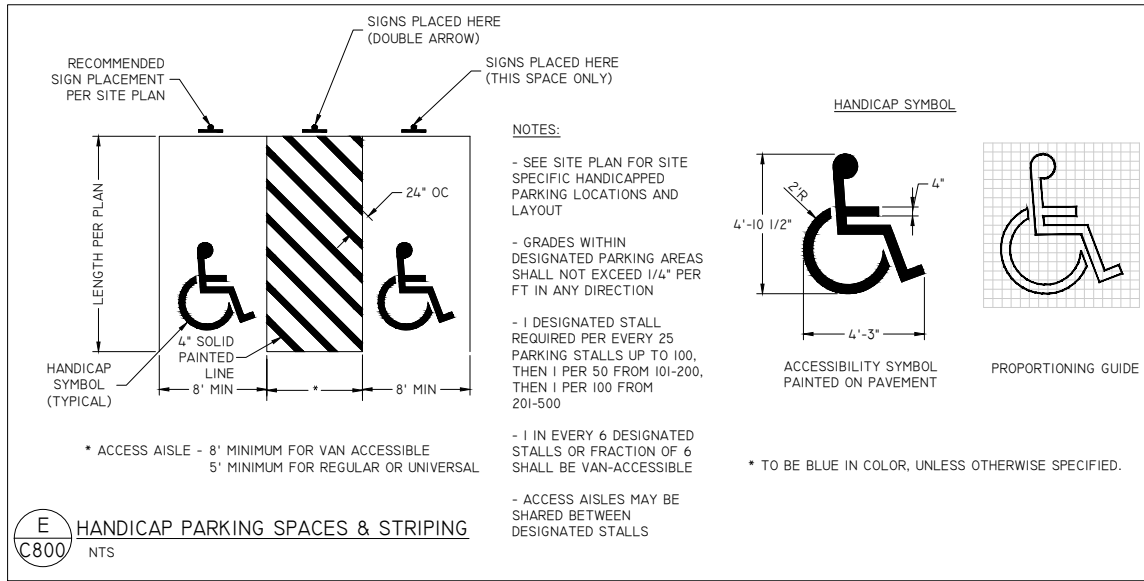
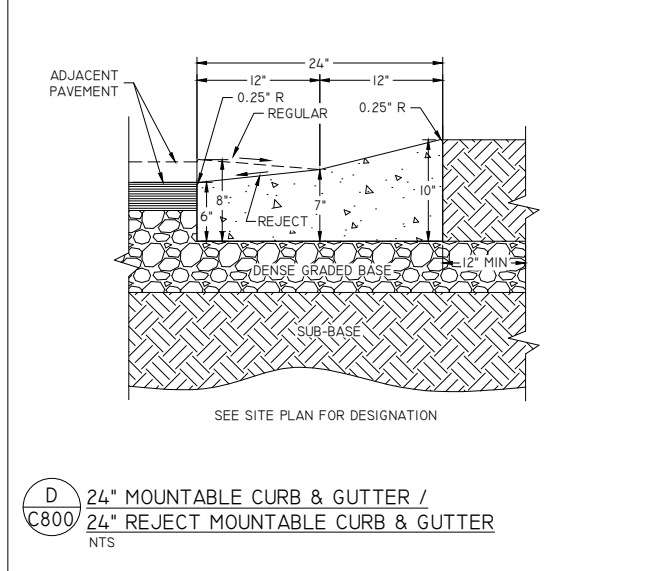
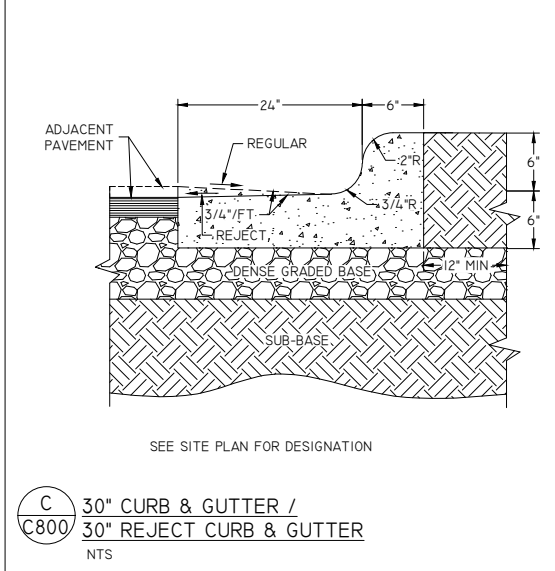
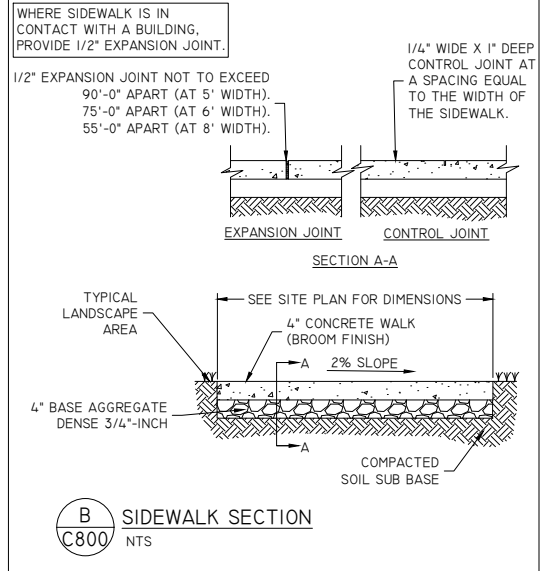
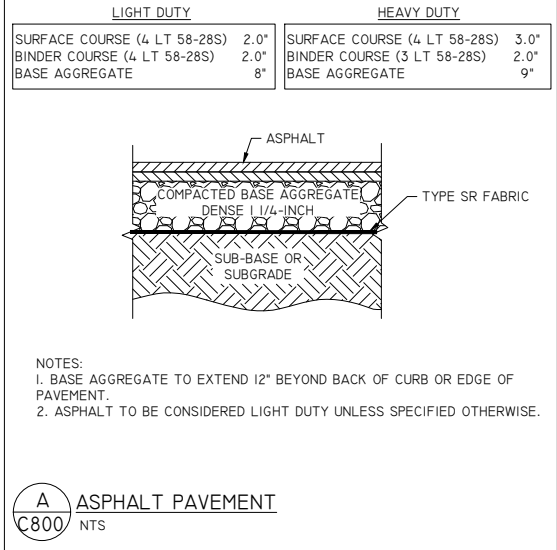
PROJECT INFORMATION:
 NEW CONSTRUCTION
 SOLIHAWEN RIVERLIFE

CONTRACTOR:
 A. THOMER

REVIEWED BY:
 A. THOMER

APPROVED BY:
 A. THOMER

DATE: 04/22/2025



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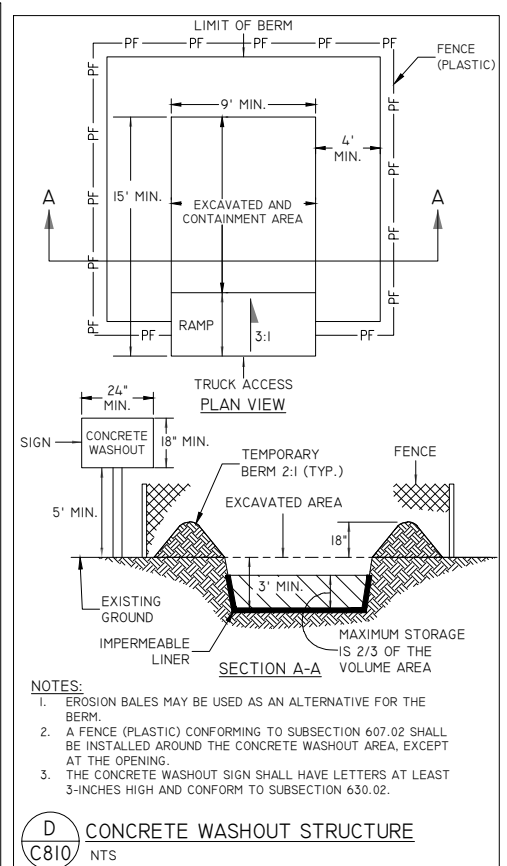
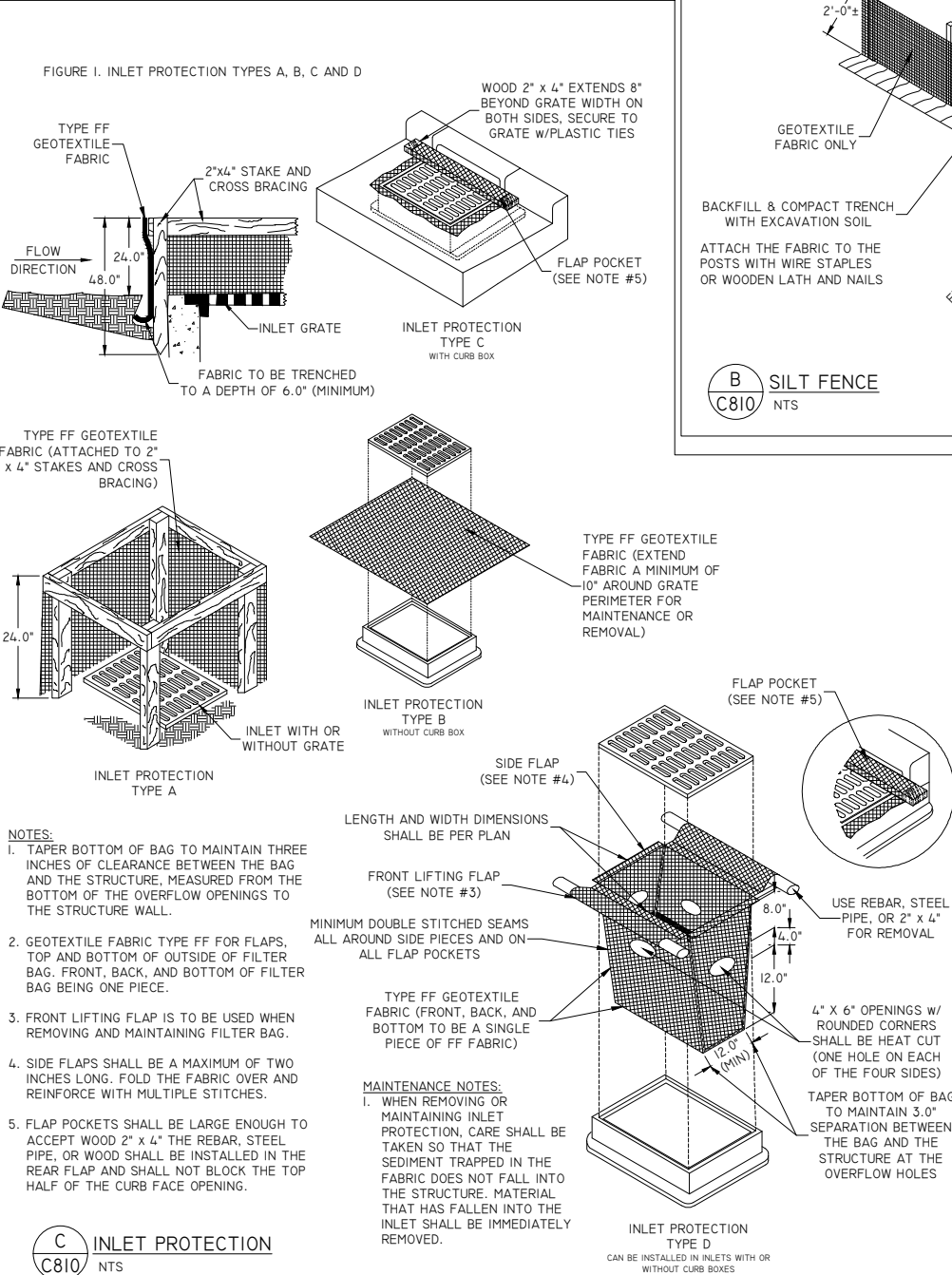
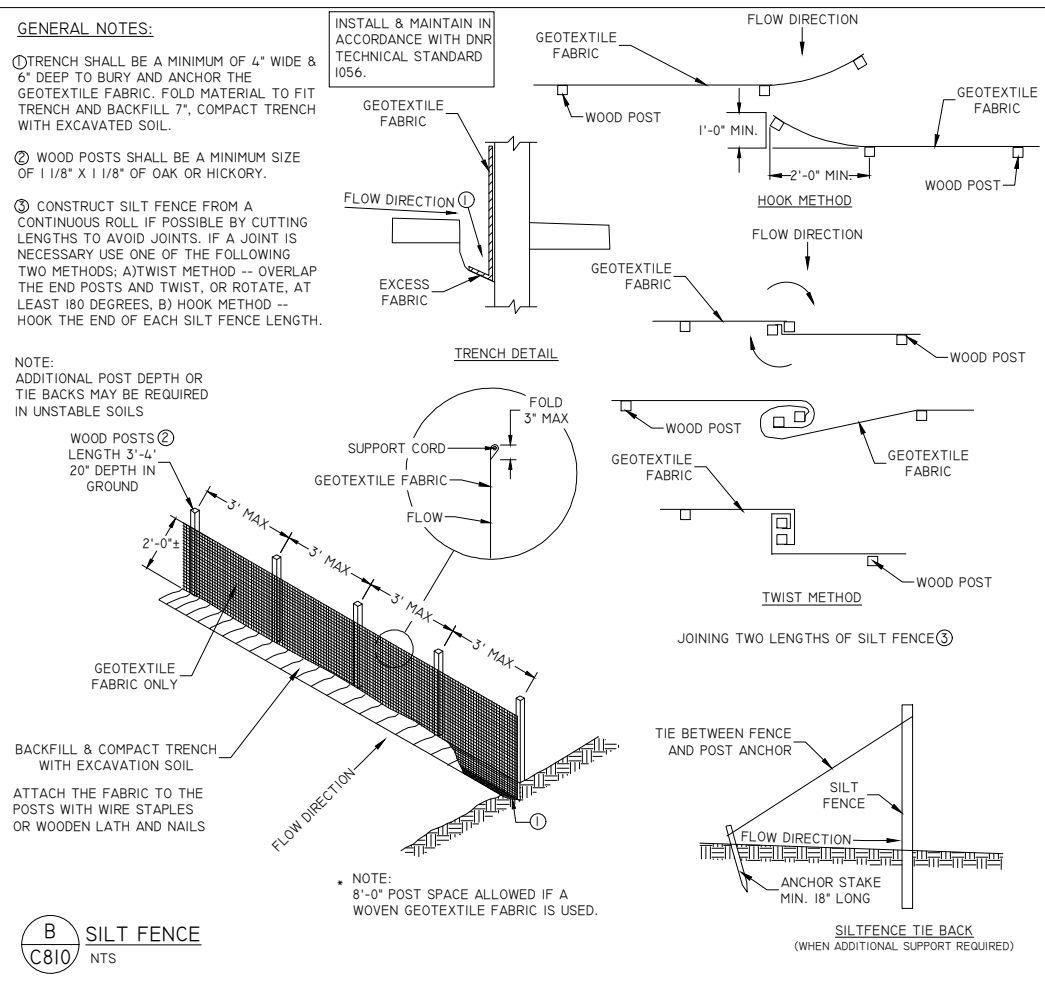
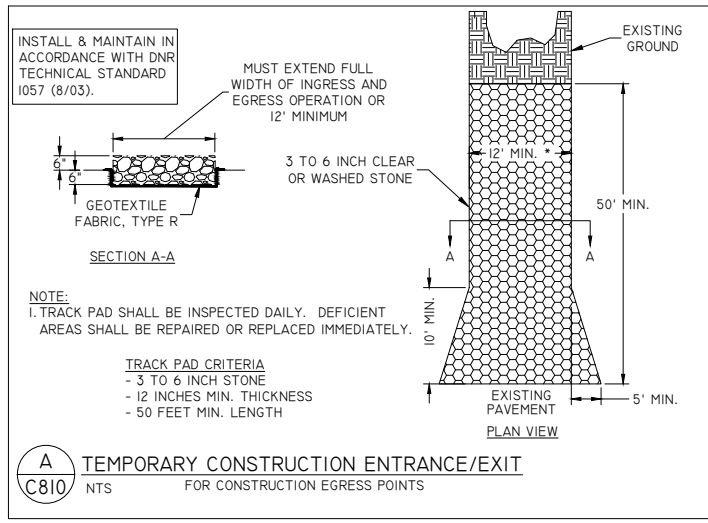
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				JWP	JJB	04/23/2025
				JWP	JJB	NAP

SITE DETAILS
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C800

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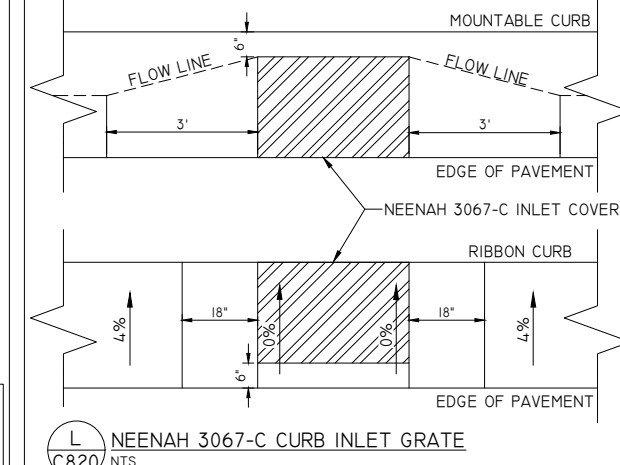
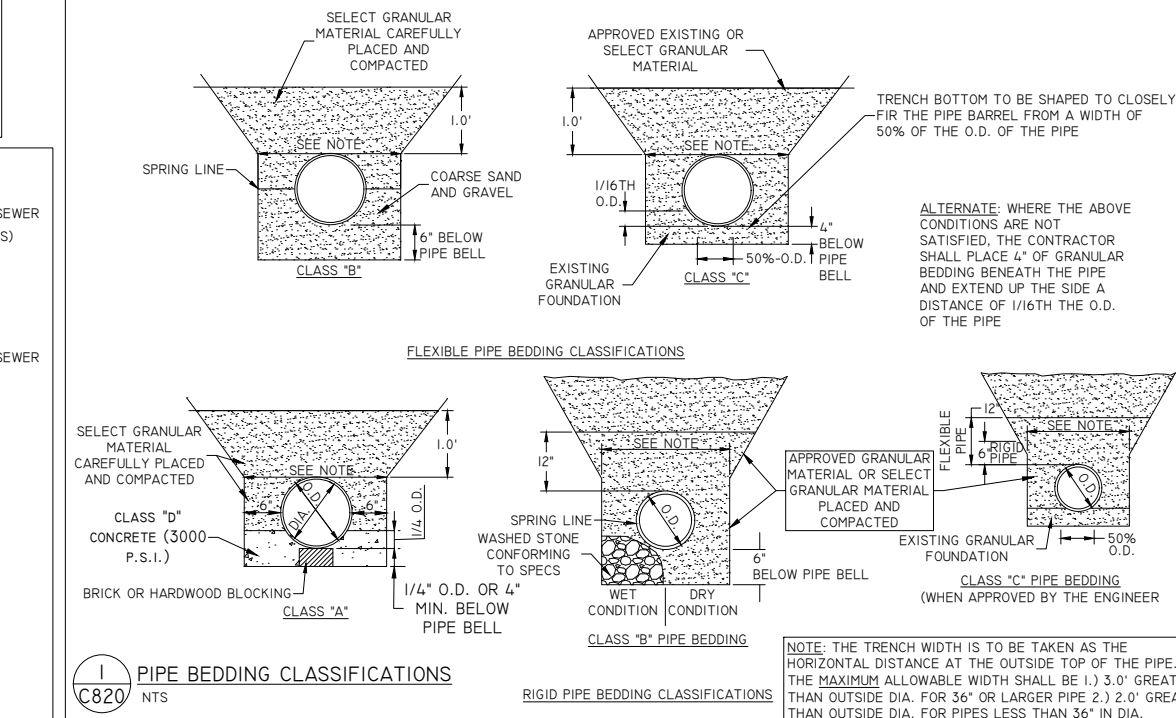
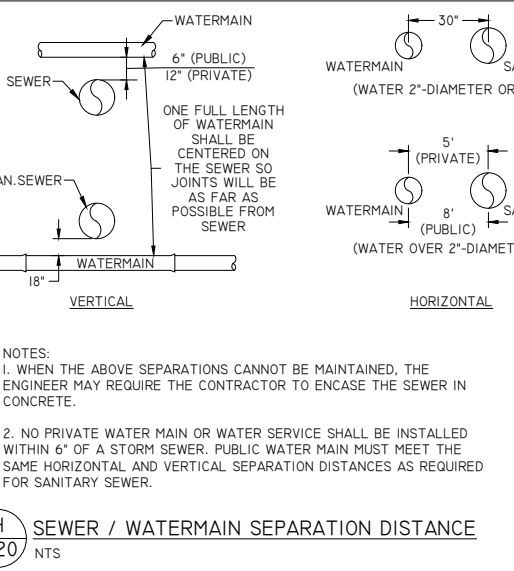
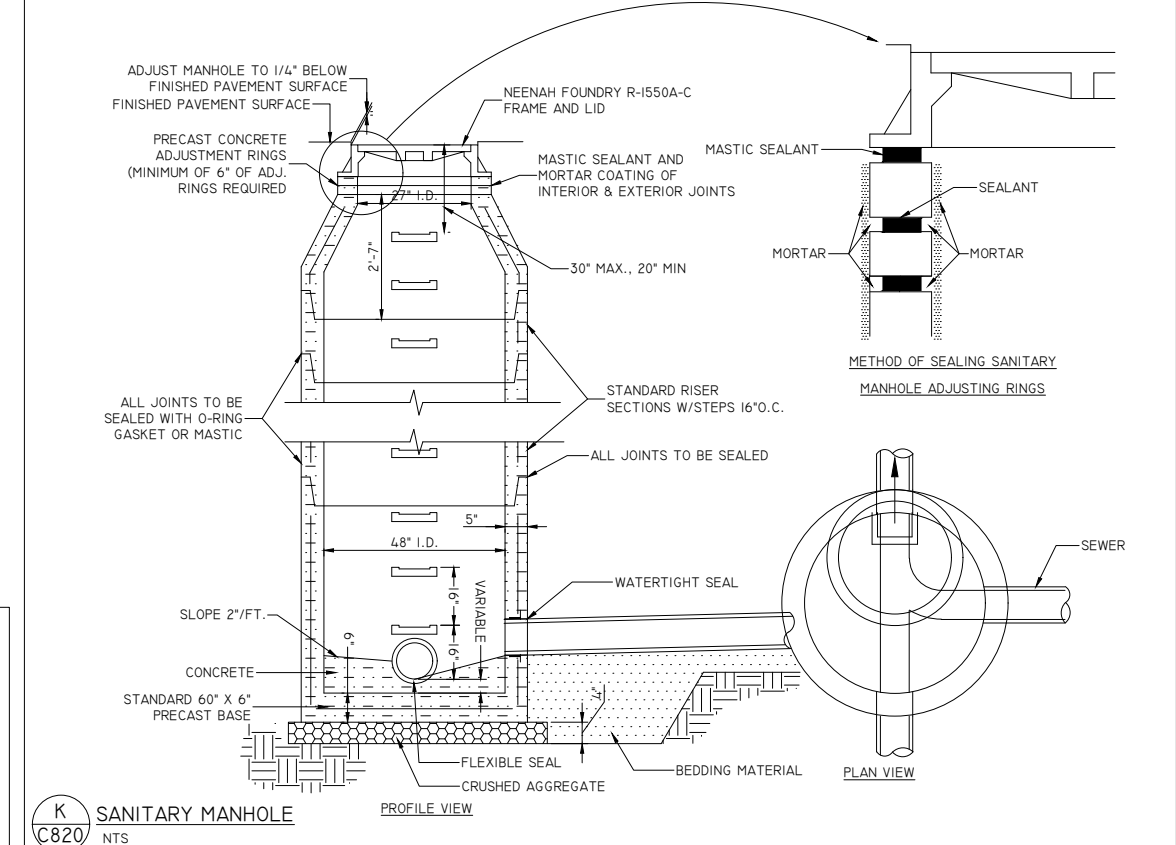
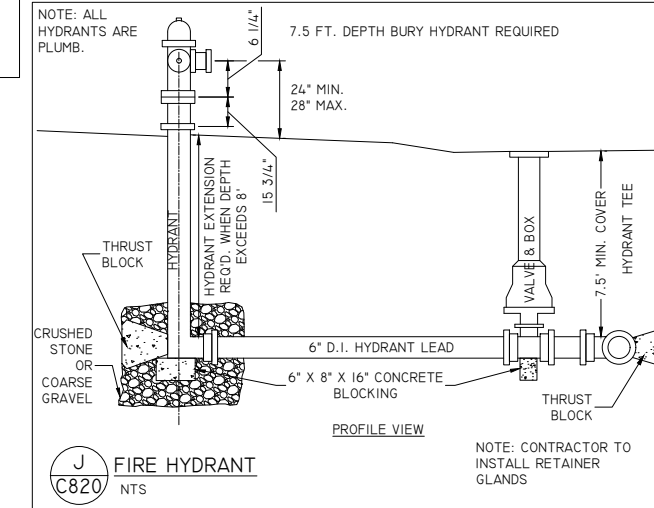
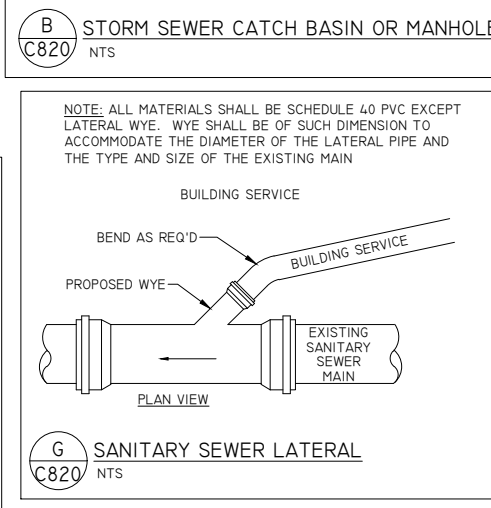
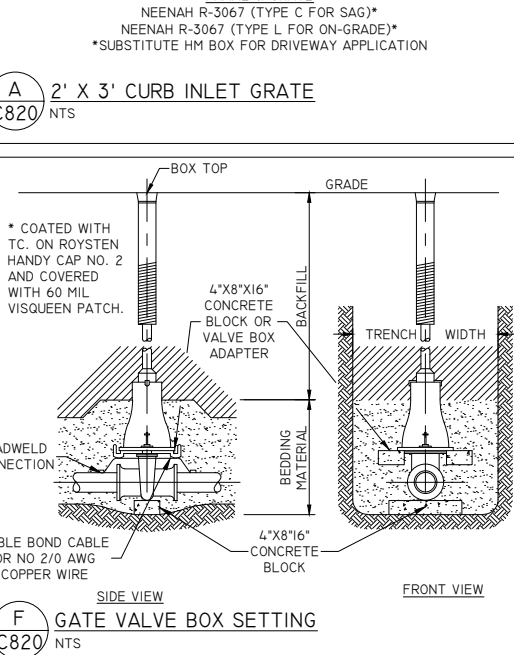
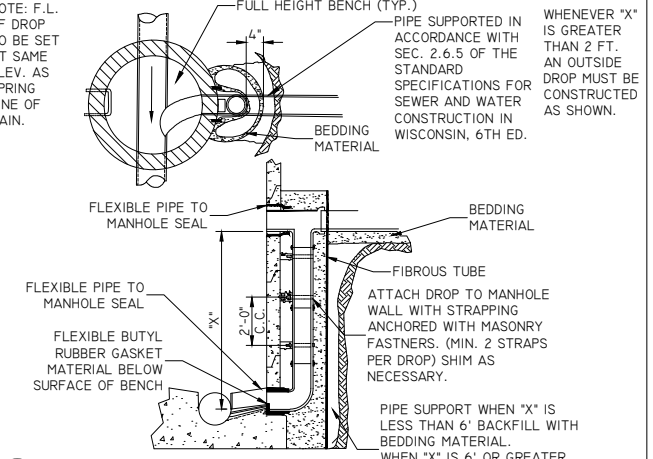
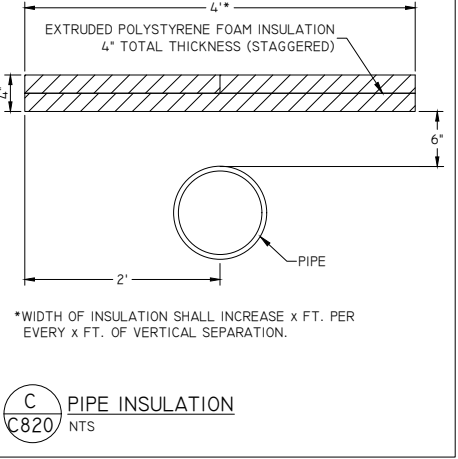
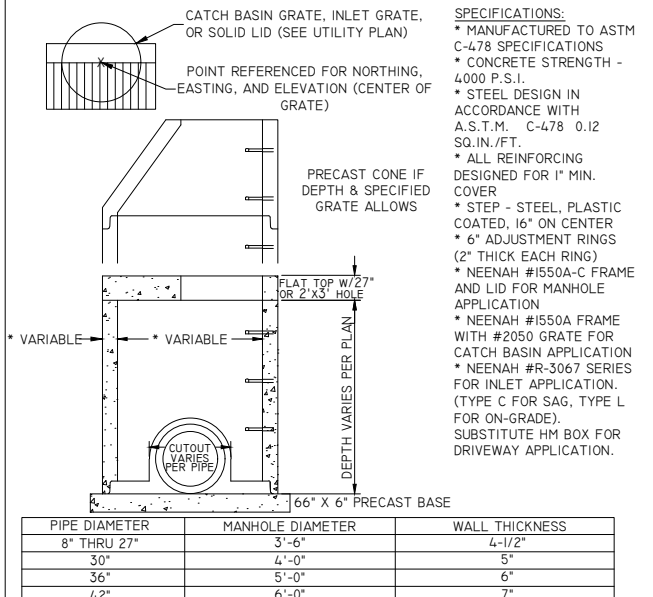
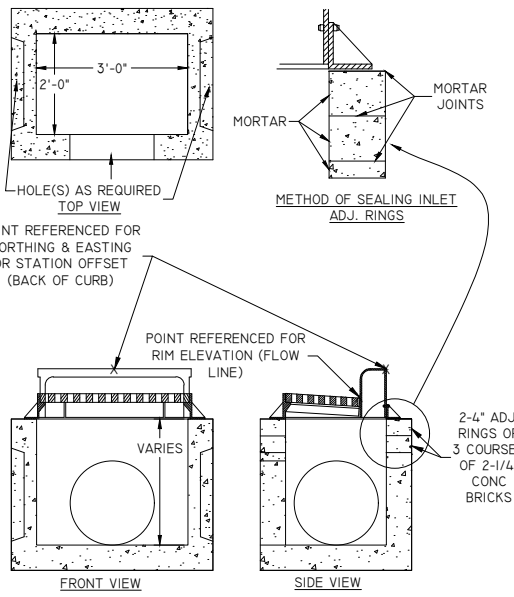
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EROSION CONTROL DETAILS
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C810

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		JWP	JJB	JWP	JJB	04/23/2025
		JWP	JJB	JWP	JJB	

UTILITY DETAILS
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C820

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS , ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER'S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE'S WPDES PERMIT IS TERMINATED BY THE WDNR.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTPS://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](https://dnr.wi.gov/topic/stormwater/standards/const_standards.html)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER'S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.

21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE REQUIREMENTS OF SECTION 208.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTION OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SECTION 211 OF THE WISDOT STANDARD SPECIFICATIONS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
26. CONCRETE PAVING SHALL CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE CURB AND GUTTER SHALL CONFORM TO THE APPLICABLE REGULATIONS OF SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE MATERIAL SHALL BE TYPE A OR A-FA AS DEFINED WITHIN SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS WITH A DESIGN STRENGTH OF 4,500 PSI.
27. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED, EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 608 OF THE WISDOT STANDARD SPECIFICATIONS.
28. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE.
29. WATER TUBING SHALL BE OF MATERIALS SPECIFIED IN 8.24.1 OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
30. DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF ANSI A21.51 (AWWA C151). DUCTILE IRON PIPE SHALL BE CEMENT-MORTAR LINED AND COATED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.4 (AWWA C104). ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 UNLESS OTHERWISE SPECIFIED.
31. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
32. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(II)(C)2 AS REQUIRED BY SPS 382.30(II), SPS 382.36(7) & SPS 382.40(8).
33. STORM SEWER AND ROOF DRAIN LEADERS ARE SUBJECT TO FREEZING REGARDLESS OF BURY DEPTH AS THESE DRAINAGE SYSTEMS ARE TYPICALLY OPEN TO THE SURFACE. AS A MEASURE TO REDUCE FREEZE UP, REI SUGGESTS THE INSTALLATION OF HEAT TAPE AND/OR PIPE INSULATION TO ANY ROOF DRAIN LEADER OR CONNECTING PIPE. CONTRACTOR SHALL COORDINATE THIS WORK WITH THE OWNER AS WELL AS ELECTRICAL AND PLUMBING DESIGNERS.
34. RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECIFICATIONS, WITH THE GRADE BEING SPECIFIED ON THE PLANS. REFER TO SECTION 645 OF THE WISDOT STANDARD SPECIFICATIONS REGARDING GEOTEXTILE FABRIC FOR RIPRAP.
35. TYPE SAS FABRIC SHALL CONFORM TO THE REQUIREMENTS OF SECTION 645 OF THE

- WISDOT STANDARD SPECIFICATIONS.
36. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION. PAVEMENT MARKINGS PLACED WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF SECTION 646 OF THE WISDOT STANDARD SPECS (EPOXY).
 37. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF LEGALLY OFFSITE.
 38. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION. REFER TO LANDSCAPE PLAN.
 39. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
 40. REFER TO "REPORT OF GEOTECHNICAL EXPLORATION & REVIEW" FOR SITE-SPECIFIC SOIL PREPARATION AND PAVEMENT RECOMMENDATIONS.
 41. ELEVATIONS SHOWN AT THE TOP AND BOTTOM OF WALL DEPICT THE EXPOSED WALL FACE. THESE ELEVATIONS DO NOT ACCOUNT FOR WALL FOOTING DESIGN.
 42. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

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DATE	ISSUANCE	BY	CHKD

SURVEYED BY: JAF	DESIGNED BY: CSS	SURVEY DATE: 11/25/2024
SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 04/23/2025
SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

SITE SPECIFICATIONS
 SOLHAVEN - RIVERLIFE CONDOMINIUMS
 FULTON STREET
 WAUSAU, WI 54403

REI
 REI No. 9374C
 SHEET C900



pra
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A005

REVISIONS
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Solhaven Riverlife Multifamily
920 First St, Wausau, WI 54403

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2310 Crossroads Drive, Suite 2000, Madison, Wisconsin
1970 Main Street, Suite 201, Janesville, Florida 33226
2000 North Lincoln Street, Suite 200, Waterloo, Iowa 50703

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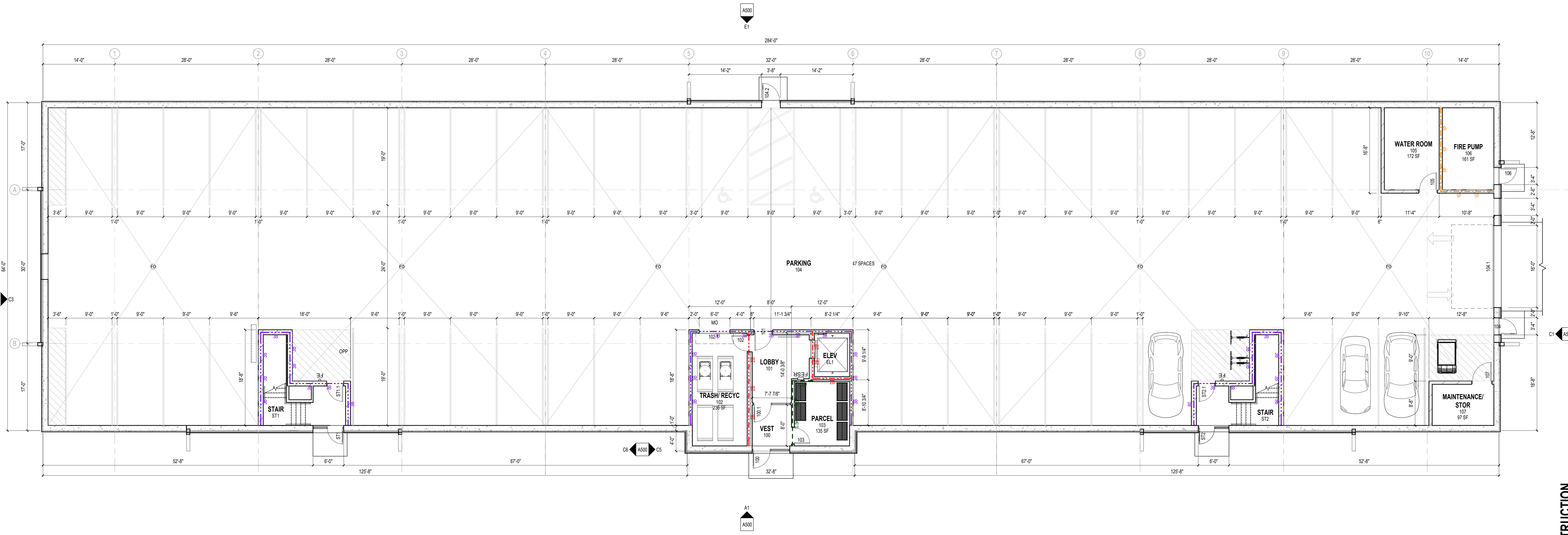
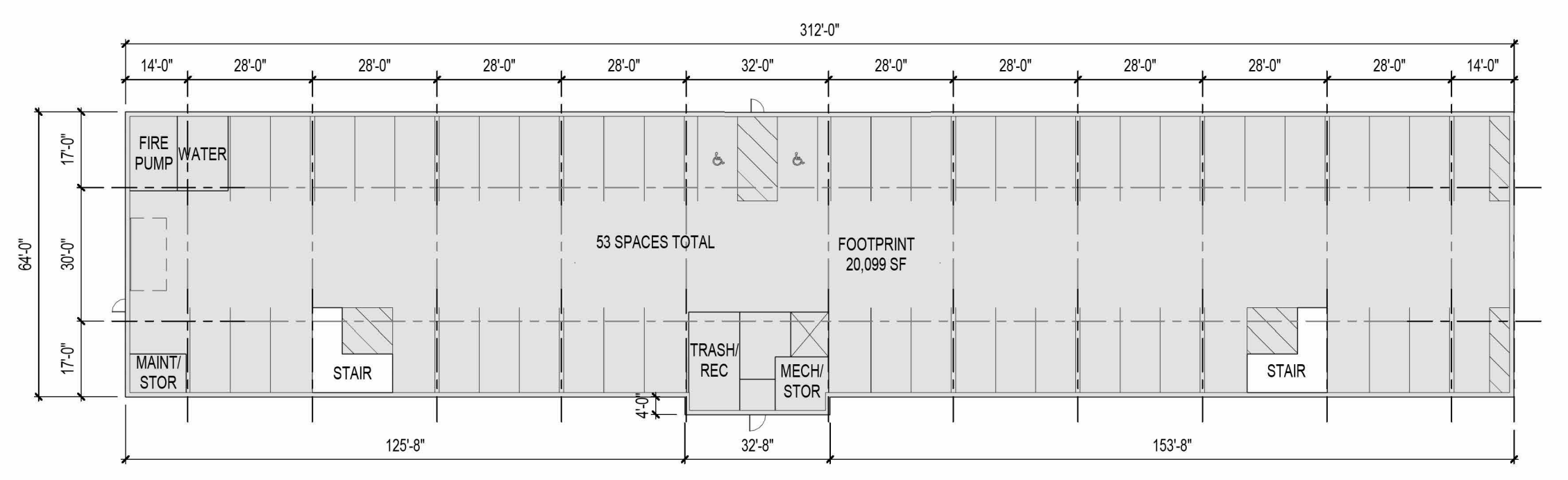
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RENDERINGS

BUILDING AREAS (GROSS)

MULTIFAMILY NORTH BLDG		MULTIFAMILY SOUTH BLDG	
FIRST FLOOR	18,307 SF	FIRST FLOOR	20,099 SF
SECOND FLOOR	17,583 SF	SECOND FLOOR	19,276 SF
THIRD FLOOR	17,583 SF	THIRD FLOOR	19,276 SF
FOURTH FLOOR	17,583 SF	FOURTH FLOOR	19,276 SF
FIFTH FLOOR	17,583 SF	FIFTH FLOOR	19,276 SF
TOTAL	86,638 SF	TOTAL	97,203 SF

SOUTH BLDG VARIATION



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FIRST FLOOR PLAN (NORTH BLDG)
1/8" = 1'-0"

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SHEET NO:

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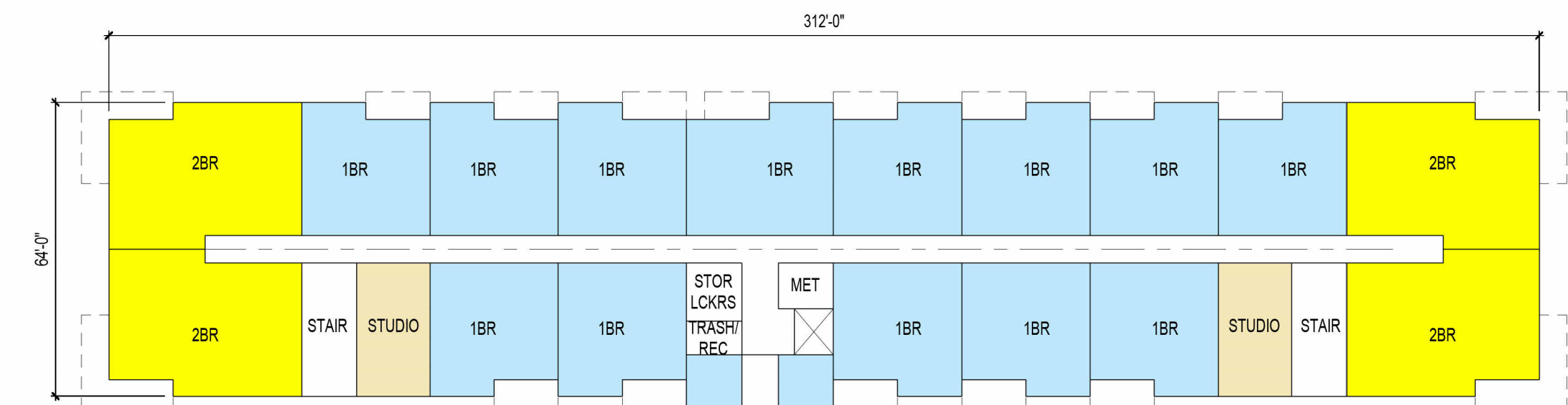
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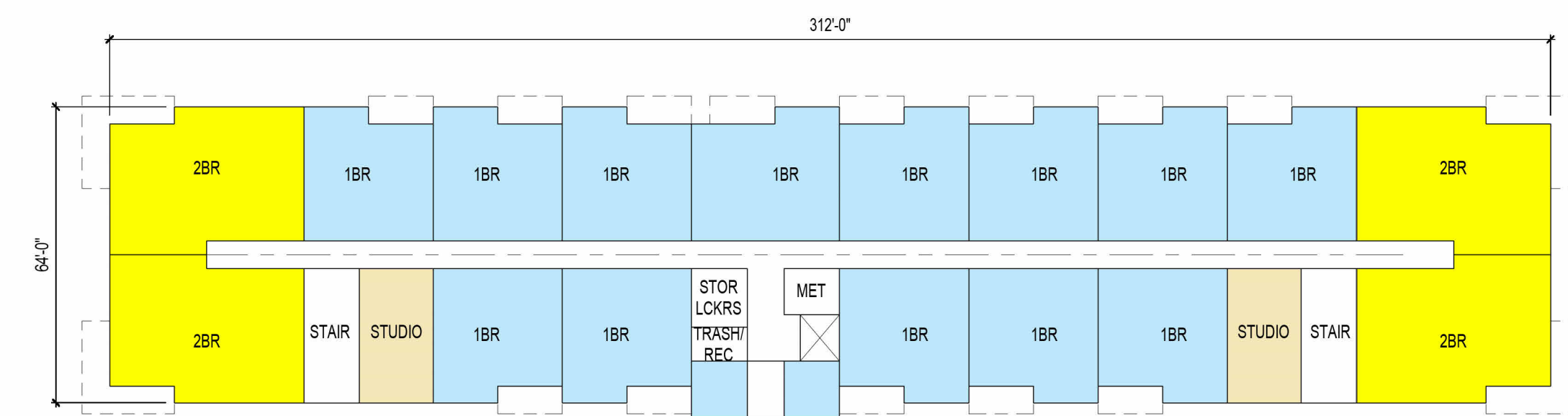
UNIT TYPE LEGEND

- 1 BEDROOM
- 2 BEDROOM
- STUDIO

SOUTH BLDG VARIATION



SOUTH BLDG VARIATION



UNIT TYPE LEGEND

- 1 BEDROOM
- 2 BEDROOM
- STUDIO



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FOURTH FLOOR PLAN (NORTH BLDG)
 1/8" = 1'-0"

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 920 First St, Wausau, WI 54403

FOURTH FLOOR PLAN
 A204



A1 SOUTH ELEVATION
1/8" = 1'-0"



C1 EAST ELEVATION
1/8" = 1'-0"



C3 WEST ELEVATION
1/8" = 1'-0"



C5 ENTRY BUMP OUT SIDE - TYPICAL
1/8" = 1'-0"

C6 BALCONY LOUVER ELEVATION - TYPICAL
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS

- EIFS
- STONE
- LAP SIDING (LP SMARTSIDE MIDNIGHT SHADOW)
- WOOD LOOK ALUMINUM SIDING (LONGBOARD BLONDE OAK)
- PANEL SIDING (LP SMARTSIDE QUARRY GRAY)

EXTERIOR ELEVATION NOTES

MARK	DESCRIPTION
500	PREFABRICATED HUNG ALUMINUM BALCONY SYSTEM



E1 NORTH ELEVATION
1/8" = 1'-0"

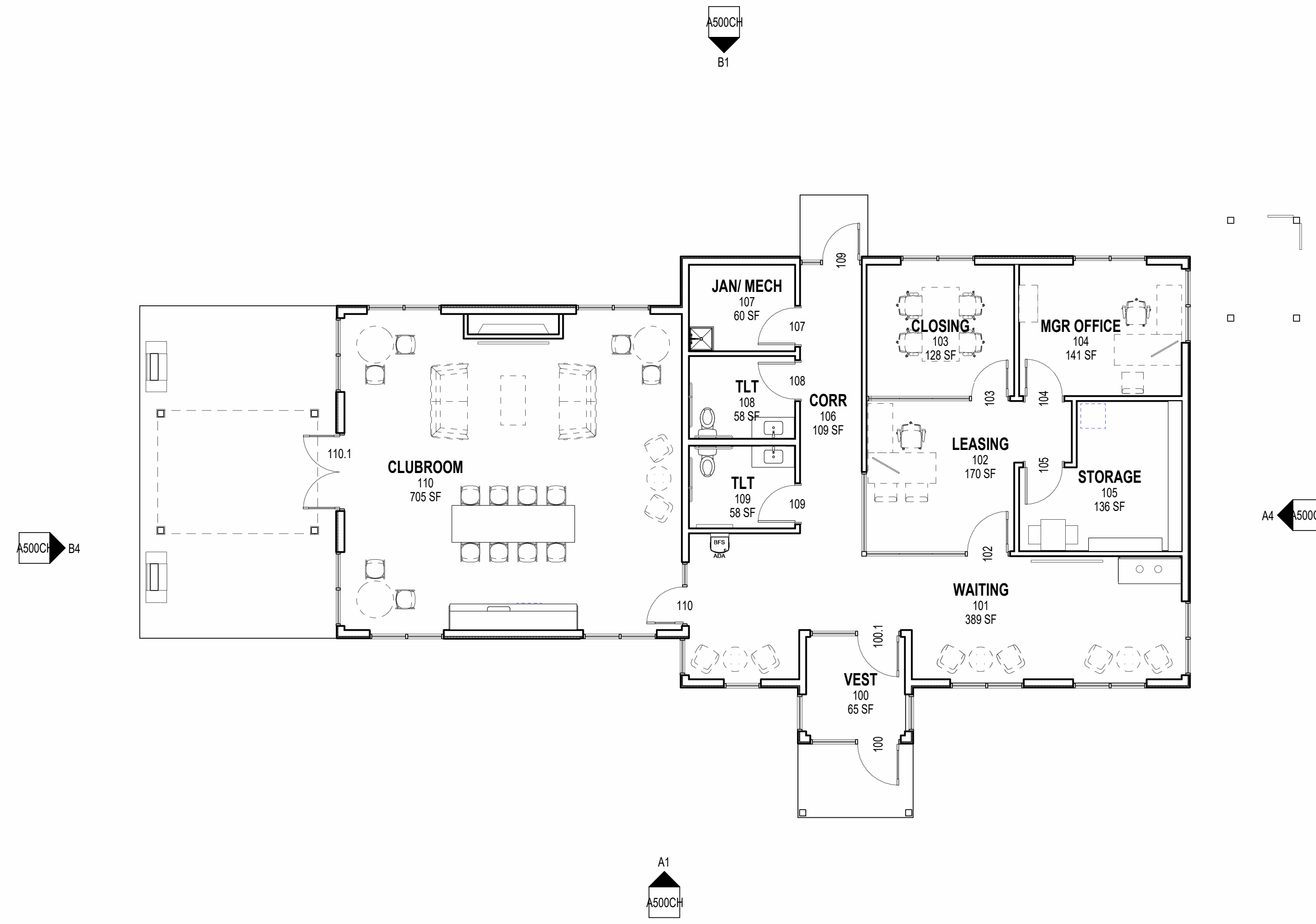
DRAWN BY: AD
4/29/2025 1:04:56 PM

NOT FOR CONSTRUCTION
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1414 350 3050
 1000 240 0600
 2310 crossroads drive, suite 2000, madison, wisconsin
 1512 851 1900
 1512 851 1900
 1312 253 1163
 200 E 4th street, suite 204, waukesha, wisconsin 53093
 PLUNKETT RAYSICH ARCHITECTS, LLP
 prai
 Wanguard Development LLC
 Solhaven Riverlife Multifamily
 920 First St, Wausau, WI 54403
 REVISIONS:
 DD PROGRESS SET
 DATE: 04/29/2025
 JOB NO: 240268-01
 SHEET NO:
 EXTERIOR ELEVATIONS (NORTH BLDG)
 A500

BUILDING AREA (GROSS)

FIRST FLOOR	2,220 SF
TOTAL	2,220 SF



FIRST FLOOR PLAN
1/8" = 1'-0"

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DD PROGRESS SET
BID PACKAGE:
DATE: 04/24/2025
JOB NO: 240268-02
SHEET NO:

Wangard Development LLC
Solhaven Riverlife Clubhouse
(SINGLE LINE ADDRESS -> PROJECT INFORMATION)

REVISIONS:

D

C

B

A



1414 399 3960
1608 246 9900
1512 831 1900
1319 231 1163
209 south water street, milwaukee, wisconsin 53204
210 westwood drive, suite 200, madison, wisconsin 53718
220 industrial boulevard, lake 101, jordan, iowa 52845
327 E 4th street, suite 204, westport, iowa 50783

A200CH

FIRST FLOOR PLAN



A1 SOUTH ELEVATION
1/8" = 1'-0"



B1 NORTH ELEVATION
1/8" = 1'-0"



A4 EAST ELEVATION
1/8" = 1'-0"



B4 WEST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS

- WOOD LOOK ALUMINUM SIDING
- PANEL SIDING - LIGHT (LP SMARTSIDE QUARRY GRAY)
- PANEL SIDING - DARK (LP SMARTSIDE MIDNIGHT SHADOW)

EXTERIOR ELEVATION NOTES

MARK	DESCRIPTION
S01	ALUMINUM PERGOLA

1414 399 3960
1608 246 9900
1512 83 1900
1319 23 1163

209 South Water Street, Milwaukee, Wisconsin 53204
2110 Crossroads Drive, Suite 2000, Madison, Wisconsin 53718
220 Industrial Boulevard, Lake View, Illinois 60054
327 E 4th Street, Suite 204, Waterloo, Iowa 50703

prai
PLUNKETT RANVICH
ARCHITECTS, LLP

Wangard Development LLC
Solhaven Riverlife Clubhouse
(SINGLE LINE ADDRESS -> PROJECT INFORMATION)

REVISIONS:

D

EXTERIOR ELEVATIONS

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DD PROGRESS SET
BID PACKAGE:
DATE: 04/24/2025
JOB NO: 240268-02
SHEET NO:

A500CH

REI ENGINEERING

4080 N 20th Ave.
Wausau, WI 54401



PROJECT NAME: Solhaven (Wangard Riverfront MF)
LOCATION: 1009 N 3rd. St - Wausau, WI
ZONING: DPMU - Downtown Pher.

CITY OF WAUSAU - LANDSCAPE REQUIREMENTS

1. Building Foundations

Calculations	Quantity
LF Building Foundation	1690
Pts Required per 100 LF of Building Foundation	40
Total Points Required	676

Plant Category	Pts/Plant	Quantity	Total Pts
Shade Tree	50	0	0
Tall Deciduous Tree	30	0	0
Medium Deciduous Tree	15	0	0
Low Deciduous Tree	10	0	0
Tall Evergreen Tree	40	0	0
Medium Evergreen Tree	20	0	0
Low Evergreen Tree	12	0	0
Tall Deciduous Shrub	5	0	0
Medium Deciduous Shrub	3	0	0
Low Deciduous Shrub	1	25	25
Medium Evergreen Shrub	5	0	0
Low Evergreen Shrub	3	0	0
Perennials & Ornamental Grasses	1	654	654

Total Points Proposed	679
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2. Paved Areas

Calculation 1 (*Use greater of the two calculations)

Quantity

Number of Parking Stalls	208
Pts Required per 10 Parking Stalls	40

Total Points Required

832

Calculation 2 (*Use greater of the two calculations)

Quantity

SF Area of Pavement	77,115
Pts Required per 10,000 SF of Pavement	40

Total Points Required

308

Plant Category	Pts/Plant	Quantity	Total Pts
Shade Tree	50	0	0
Tall Deciduous Tree	30	21	630
Medium Deciduous Tree	15	0	0
Low Deciduous Tree	10	0	0
Tall Evergreen Tree	40	0	0
Medium Evergreen Tree	20	0	0
Low Evergreen Tree	12	0	0
Tall Deciduous Shrub	5	0	0
Medium Deciduous Shrub	3	0	0
Low Deciduous Shrub	1	56	56
Medium Evergreen Shrub	5	0	0
Low Evergreen Shrub	3	0	0
Perennials & Ornamental Grasses	1	168	168

Total Points Proposed

854

3. Street Frontages

Calculations	Quantity
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LF of Street Frontage R.O.W.	470
Pts Required per 100 LF of Street Frontage R.O.W.	60

Total Points Required	282
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Plant Category	Pts/Plant	Quantity	Total Pts
Shade Tree	50	6	300
Tall Deciduous Tree	30	0	0
Medium Deciduous Tree	15	0	0
Low Deciduous Tree	10	0	0
Tall Evergreen Tree	40	0	0
Medium Evergreen Tree	20	0	0
Low Evergreen Tree	12	0	0
Tall Deciduous Shrub	5	0	0
Medium Deciduous Shrub	3	0	0
Low Deciduous Shrub	1	0	0
Medium Evergreen Shrub	5	0	0
Low Evergreen Shrub	3	0	0
Perennials & Ornamental Grasses	1	0	0

Total Points Proposed	300
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4. Yards

Calculations

Quantity

SF Area of Building Gross Floor Area	157365
Pts Required per 1000 SF of Building Gross Floor Area	10

Total Points Required

1574

Plant Category

Pts/Plant

Quantity

Total Pts

Shade Tree	50	24	1200
Tall Deciduous Tree	30	0	0
Medium Deciduous Tree	15	0	0
Low Deciduous Tree	10	0	0
Tall Evergreen Tree	40	0	0
Medium Evergreen Tree	20	0	0
Low Evergreen Tree	12	0	0
Tall Deciduous Shrub	5	0	0
Medium Deciduous Shrub	3	0	0
Low Deciduous Shrub	1	106	106
Medium Evergreen Shrub	5	0	0
Low Evergreen Shrub	3	0	0
Perennials & Ornamental Grasses	1	268	268

Total Points Proposed

1574

Date: 04.29.2025

REI Engineering Inc.



STAFF REPORT

TO: City of Wausau Plan Commission
FROM: William Hebert, Chief Inspector / Zoning Administrator
DATE: May 9, 2025

GENERAL INFORMATION

APPLICANT: Eric Giess, Super Lettering and Signs
LOCATION: 1520 Elm St.
EXISTING ZONING: Planned Unit Development
PURPOSE: Plan Commission Approval
EXISTING LAND USE: Apartments with Commercial spaces

SURROUNDING ZONING AND LAND USE:

This parcel is located in the along 17th Avenue with views of Rib Mountain and the North 29/51 interchange. Commercial land uses surround the apartments on the north, south and west sides. The east side has a buffer to single family homes.

ANALYSIS

Staff has worked with Mr. Giess from Super Lettering and Signs on a complete sign package for Bantr Apartments. The wall signs for the commercial spaces appear to follow our sign formulas for square footage allotment.

A monument sign is proposed at the south east corner of the property. The sign will include an Electronic Message Center and signage for the commercial spaces as well. Please summary letter for details on signage formulas and plans for the monument sign.

Recommendation

Staff recommends approval of the sign package.



4308 Transport Way • Weston, WI 54476

715.355.1177 • <http://superlettering.com> • info@superlettering.com

Signage Plan for Lokre Development/Bantr Living, 1520 Elm Street, Wausau WI

Super Lettering & Signs, Inc. has completed the attached sign survey and plan for Lokre Development and Bantr Living, for their Wausau location at 1520 Elm St, on the corner of 17th Ave & Elm St.

As the building is primarily apartments, Bantr's logo will be included in the most prominent corner location. The Velveteen Plum restaurant already occupies the top floor, and needs a very visible presence. Other tenants, four total, are anticipated, but not yet identified. All tenant signage will be located directly above their entrances, with the exception of The Velveteen Plum, which will be on the upper portion of the building, just below their outdoor seating.

All building signage will be LED lit channel letters on raceways.

The west building face is 100 linear feet and will have the following signs, with total of 97.875 square feet

1. bantr (Channel Letters 2.25' x 8.5' - 19.125sqft)
2. The Velveteen Plum (Channel Letters 2.25' x 19' - 42.75sqft)
3. Tenant 1 Signage (Channel Letters 1.5' x 12' - 18sqft)
4. Tenant 2 Signage (Channel Letters 1.5' x 12' - 18sqft)

The south building face is 315 linear feet and will have the following signs, with total of 202.5 square feet

1. bantr (Channel Letters 3' x 11.5' - 34.5sqft)
2. The Velveteen Plum (Channel Letters 4' x 33' - 132sqft)
3. Tenant 3 Signage (Channel Letters 1.5' x 12' - 18sqft)
4. Tenant 4 Signage (Channel Letters 1.5' x 12' - 18sqft)

In addition, a 12' wide x 10' tall monument sign will be included, placed diagonally in the corner above the intersection of 17th Ave and Elm St. This monument will mimic the look and feel of the building, utilizing materials from the building. Landscaping behind the sign will mask the base, and the back of the actual sign will be black. This monument will include a high-resolution 24" tall x 96" wide electronic message center from Watchfire.

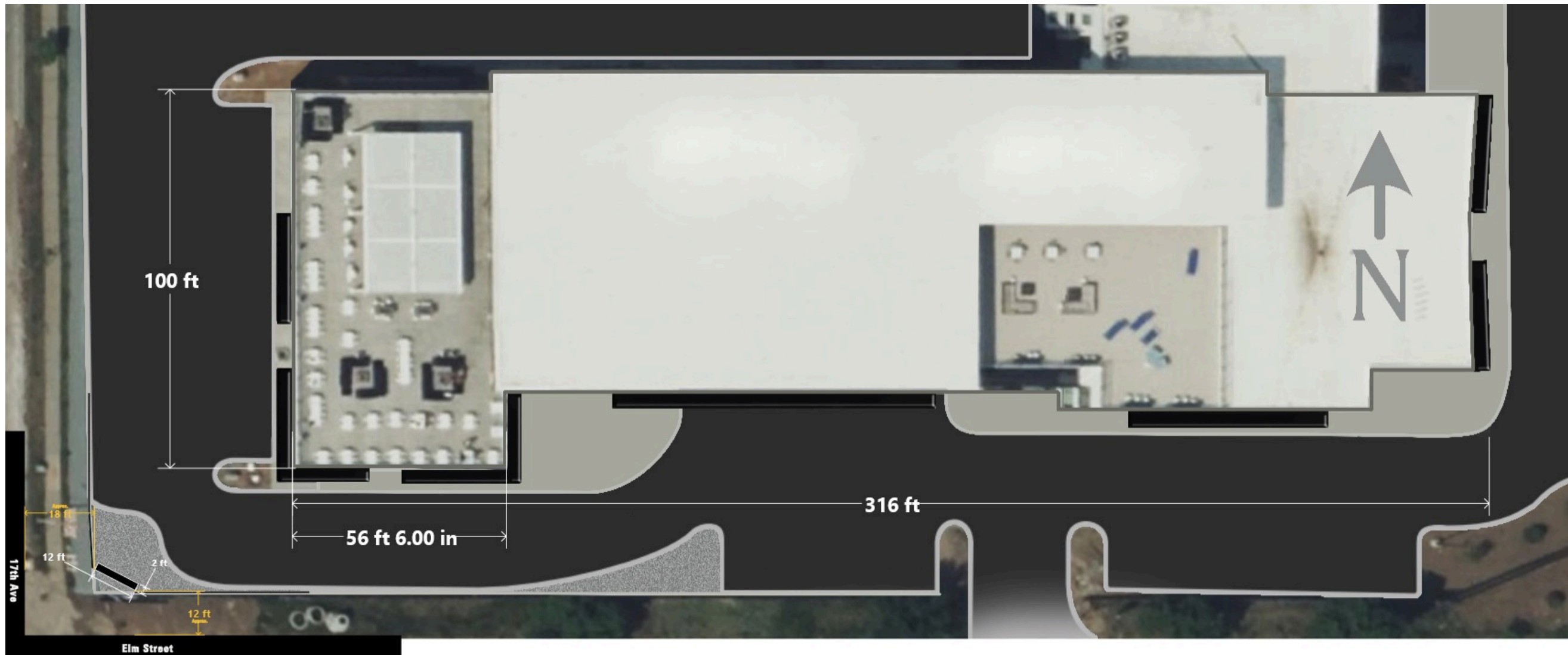
The monument will include a smaller version of the bantr channel letters, and The Velveteen Plum will enjoy the top tenant slot, which will be 20" tall x 96" wide. Other tenants will have smaller 20" tall x 48" wide spaces below the message center.

The railing currently enclosing that corner will be removed by Lokre or their chosen contractor, and be re-configured to meet the sides of the monument. This will re-secure the corner while allowing the monument to stay within current regulations and not have visual interference from the railing.

Any questions regarding signage may be directed to Eric Geiss, at Super Lettering & Signs, Inc. Any questions regarding the building and tenants should be directed to Austin or Roland Lokre.

Bantr Wausau - 17th Ave Intended Signage

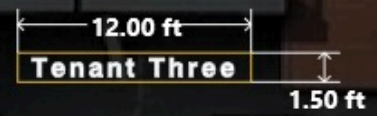
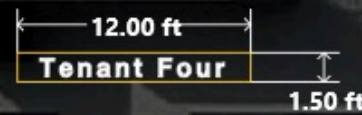
Overhead



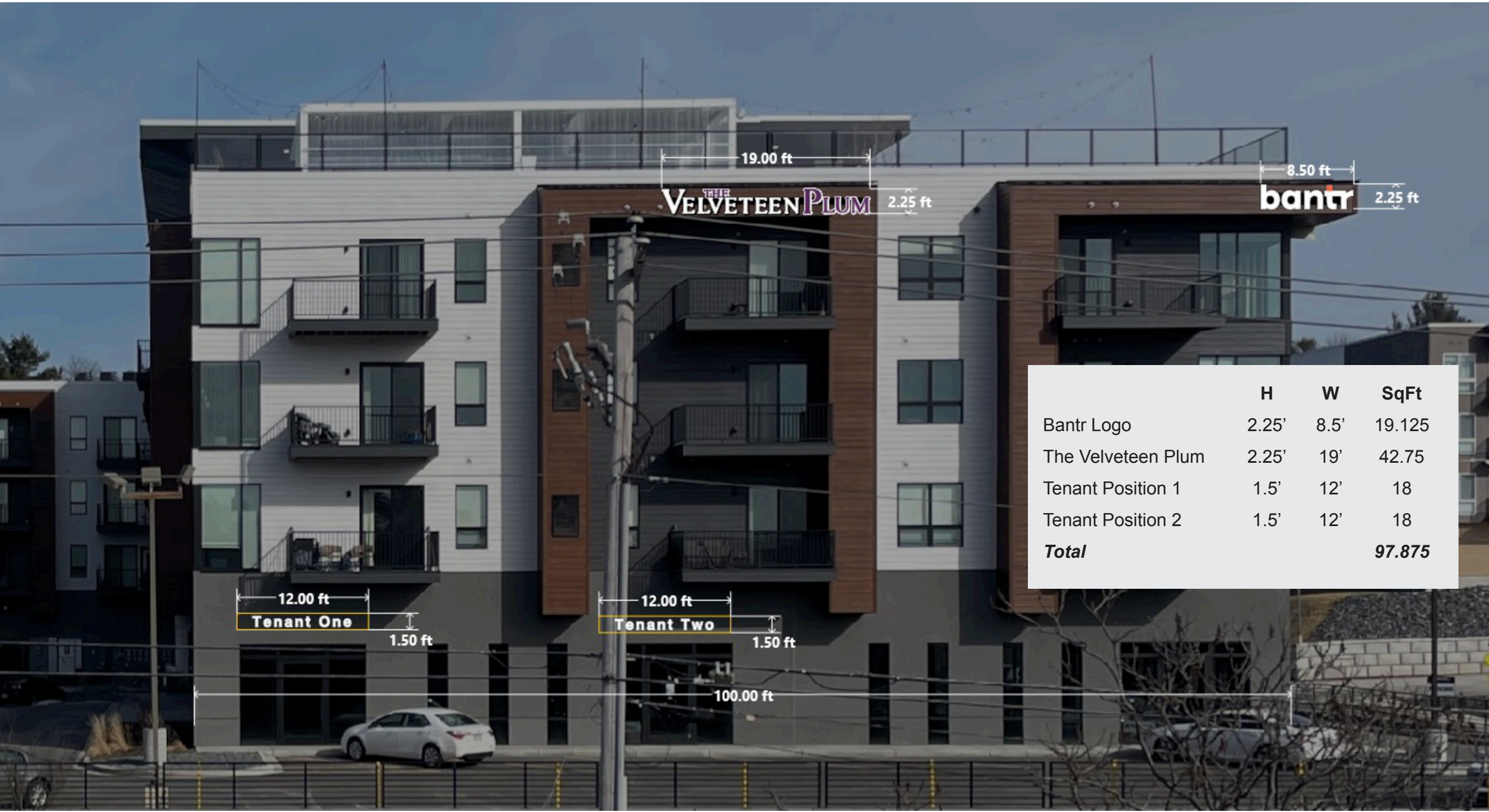
Bantr Wausau - South Face



	H	W	SqFt
Bantr Logo	3'	11.5'	34.5
The Velveteen Plum	4'	33'	132
Tenant Position 3	1.5'	12'	18
Tenant Position 4	1.5'	12'	18
Total			202.5



Bantr Wausau - West Face



	H	W	SqFt
Bantr Logo	2.25'	8.5'	19.125
The Velveteen Plum	2.25'	19'	42.75
Tenant Position 1	1.5'	12'	18
Tenant Position 2	1.5'	12'	18
Total			97.875

Bantr Wausau - Monument Sign

