



## OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department Committee, Agency, Corporation, Quasi-Municipal Corporation or Sub-unit thereof.

Notice is hereby given that the PLAN COMMISSION of the City of Wausau, Wisconsin will hold a regular or special meeting on the date, time and location shown below.

Meeting of the: **PLAN COMMISSION OF THE CITY OF WAUSAU**  
Date/Time: **Tuesday, May 21, 2024 at 5:00 pm.**  
Location: **City Hall (407 Grant Street, Wausau WI 54403) - COMMON COUNCIL CHAMBERS**  
Members: **Doug Diny (C), Eric Lindman, Sarah Watson, Lou Larson, Bruce Bohlken, Andrew Brueggeman, George Bornemann**

### AGENDA ITEMS FOR CONSIDERATION

1. Approve the meeting minutes for the March 19, 2024.
2. **PUBLIC HEARING:** 1011 N 5th St, Discussion on rezoning 1011 N 5th St from a MRL-12, Multi-family Residential-12 Zoning District to a NMU, Neighborhood Mixed Use. [The Hagar House]
3. Discussion and possible action on rezoning 1011 N 5th St from a MRL-12, Multi-family Residential-12 Zoning District to a NMU, Neighborhood Mixed Use. [The Hagar House]
4. Discussion and possible action on approving the Specific Implementation Plan for 402 and 406 N 28th Ave. [Walkabout Orthotics]
5. Discussion and possible action on approving the Specific Implementation Plan for 415 S 1st Ave. [Gorman]
6. Discussion and possible action on the revised Preliminary Plat for Green Tree Meadows.
7. Discussion and possible action on dedication of right-of-way at 404 Franklin Street.
8. Plan Updates:  
Safe Routes to School Plan, and  
North Riverfront Redevelopment Plan RFP
9. Next meeting date: Tuesday, June 18, 2024.
10. Adjournment

### MAYOR DOUG DINY - COMMITTEE CHAIR

NOTICE: It is possible that members of, and possibly a quorum of members of the Committee of the Whole or other committees of the Common Council of the City of Wausau may be in attendance at the above-mentioned meeting. No action will be taken by any such groups.

Members of the public who do not wish to appear in person may view the meeting live over the internet and can be accessed at <https://tinyurl.com/wausaucitycouncil>. Any person wishing to offer public comment who does not appear in person to do so, may e-mail [samantha.kulig@ci.wausau.wi.us](mailto:samantha.kulig@ci.wausau.wi.us) with "Plan Commission public comment" in the subject line prior to the meeting start. All public comment, either by email or in person, will be limited to items on the agenda at this time. The messages related to agenda items received prior to the start of the meeting will be provided to the Chair.

This Notice was posted at City Hall and emailed to the Daily Herald newsroom on **05/09/2024 @ 3:00 p.m.** Questions regarding this agenda may be directed to the Planning Department at (715) 261-6760.

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the ADA Coordinator at (715) 261-6622 or [ADAServices@ci.wausau.wi.us](mailto:ADAServices@ci.wausau.wi.us) to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the City of Wausau will make a good faith effort to accommodate your request.

Distribution List: City Website, Media, Committee Members, Council Members, Assessor, Attorney, City Clerk, Community Development, Finance, Metro Ride, Human Resources, Police Department, Hebert, Lenz, Lynch, Stahl, Polley, County Planning, The Hagar House, Walkabout Orthotics, and Gorman.

## PLAN COMMISSION

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Time and Date: The Plan Commission met on Wednesday, March 19, 2024, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Mayor Katie Rosenberg, Sarah Watson, Bruce Bohlken, and Andrew Brueggeman.

Members Absent: Eric Lindman, Dawn Herbst, and George Bornemann

Staff Present: Brad Lenz, William Hebert, Brian Stahl, Tara Alfonso, Andrew Lynch, Samantha Kulig.

Others Present: Breanne Kraft

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Katie Rosenberg called the meeting to order at approximately 5:00 p.m. noting that a quorum was present.

### **Approve the meeting minutes for February 21, 2024, meeting.**

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Motion/second by Watson/Bohlken to approve meeting minutes for February 21, 2024. Motion approved 4-0.

### **PUBLIC HEARING: 4320 Riverview Dr, discussion on requesting an appeal of zoning administrator determination to allow for a monolith dome house. [Breanne Kraft]**

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William Hebert provided staff update that there is an exterior design standard listed under Wausau's municipal code. Based on the designs provided, the proposed construction does not meet exterior building design standards, purpose, and intent listed on Wausau's Zoning code. Hebert mentioned that staff have not received any public comment prior to this public hearing.

Mayor Rosenberg opened the public hearing.

Petitioner, Breanna Kraft, 4320 Riverview Dr, stated that she bought this land with the intention of building a monolith dome house. She continued to state that building this type of home had always been a dream of hers. She stated that the dome house is quick to build, energy efficient and super strong some have survived forest fires in California, hurricanes, and tornadoes. Kraft stated with her design, she was trying to make it look normal of a house as possible.

Mayor Rosenberg opened the public hearing.

### **Discussion and possible action on discussion on requesting an appeal of zoning administrator determination to allow for a monolith dome house. [Breanne Kraft]**

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Mayor Rosenberg clarified that action can be taken today, or the members present can hold this discussion to a future meeting.

Hebert stated that this proposed construction/variance did not meet design standards. The 5 standards are under WMC 23.10.51 (a). 1. The variance will not be contrary to the public interest. 2. Substantial justice will be done by granting the variance. 3. The variance is needed so that the spirit of the ordinance is observed. 4. Due to special conditions, a literal enforcement of the provisions of the Zoning Ordinance will result in unnecessary hardship. 5. The variance will not allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.

Bohlken asked what exterior façade materials are made of for this proposed construction. Kraft replied that it's made of concrete and stucco. Bohlken also asked if the zoning ordinances mentioned were recently adopted, because there are other dome homes in the City of Wausau. Hebert responded that the zoning exterior standards were effective on January 1, 2020. This zoning ordinance is relatively new.

Motion/second by Brueggeman/Watson to approve an appeal of Zoning Administrator determination to allow for a monolith dome house. Motion approved 3-1.

**Discussion and possible action on sale of 902 and 904 West Thomas St. (Bids were opened by the Board of Public Works on February 21, 2024.)**

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Brad Lenz stated that both properties are not buildable. The bid was opened and set to a minimum bid of \$250.00 for each property. Capital Improvements and Street Maintenance (CISM) recommends accepting the bids offer by the neighbor who expresses interest to the property.

Motion/second by Watson/Brueggeman to approve sale of 902 and 904 West Thomas St. Motion approved 4-0.

**Next Meeting Date**

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Next meeting date will be at 5:00 p.m. on Tuesday, May 21, 2024.

**Adjournment**

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*Motion/second by Watson/Bohlken. Motion approved 4-0, and the meeting adjourned at 5:13 p.m.*

**The Plan Commission is next scheduled to meet at 5:00 p.m. on Tuesday, May 21, 2024.**



## STAFF REPORT

**To:** Plan Commission  
**Prepared By:** William Hebert, Chief Inspector/Zoning Administrator  
**Date:** May 13, 2024

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### REQUESTED ACTION:

#### Zoning Map Amendment

1011 N 5<sup>th</sup> St

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|                            |                                                                    |
|----------------------------|--------------------------------------------------------------------|
| <b>LOCATION:</b>           | 1011 N 5 <sup>th</sup> St.                                         |
| <b>APPLICANT:</b>          | Jessica Bretl, Executive Director                                  |
| <b>EXISTING ZONING:</b>    | <b>MRL-12 – Multi-Family Residential</b>                           |
| <b>EXISTING LAND USE:</b>  | Vacant                                                             |
| <b>SIZE OF PARCEL:</b>     | 5800 square feet                                                   |
| <b>REQUESTED ZONING:</b>   | <b>NMU</b>                                                         |
| <b>PURPOSE:</b>            | To allow for an office and storage building supporting Hagar House |
| <b>COMPREHENSIVE PLAN:</b> | This area is mapped as City Center.                                |

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#### **BACKGROUND INFORMATION:**

This property was most recently used as a parking lot to support a business at 915 N 5<sup>th</sup> St. After the Hagar House took ownership, they recently demolished the old storage building at this site. With the property being zoned MRL-12 and being such a small, odd-shaped lot, there is limited use available to the current owners. This site is certainly not ideal for multifamily housing. By changing the zoning to Neighborhood Mixed Use, they would have more options for land use such as an office building with storage or a small retail shop.

#### **AMENDMENTS TO ZONING MAP**

Section 23.10.31(4)(b) of the Zoning Code outlines criteria for zoning map amendments that staff and the Plan Commission are to review and make recommendation to the Common Council.

Under this section, a proposed amendment is to be evaluated as to whether it:

1. Advances the purposes of this Chapter as outlined in Section 23.01.03 and the applicable rules of Wisconsin Department of Administration and the Federal Emergency Management Agency
2. Is in harmony with the Comprehensive Plan
3. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.
4. Addresses any of the following factors that are not properly addressed on the current Official Zoning Map:
  - a. The designations of the Official Zoning Map are not in conformance with the Comprehensive Plan.
  - b. A mapping mistake was made, including the omission on the Official Zoning Map of an approved zoning map amendment.
  - c. Factors have changed (such as new data, infrastructure, market conditions, development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
  - d. Growth patterns or rates have changed, creating the need for an amendment to the Official Zoning Map.

**ADVANCES THE PURPOSES OF THIS CHAPTER (#1)**

This action advances the purpose and intent of the zoning ordinance and applicable rules of Wisconsin DOA and FEMA.

**COMPLIANCE WITH COMPREHENSIVE PLAN (#2)**

Yes, this allows for a mix of small professional development or low-density housing.

**COMPATIBILITY WITH EXISTING NEIGHBORHOOD CHARACTER (#3)**

Yes. The area is a mix of housing, urban and neighborhood mixed use zoning.

**ADDITIONAL FACTORS (#4 c & d)**

MRL-12 zoning is not ideal due to being a small, odd-shaped lot next to train tracks.

**STAFF RECOMMENDATION**

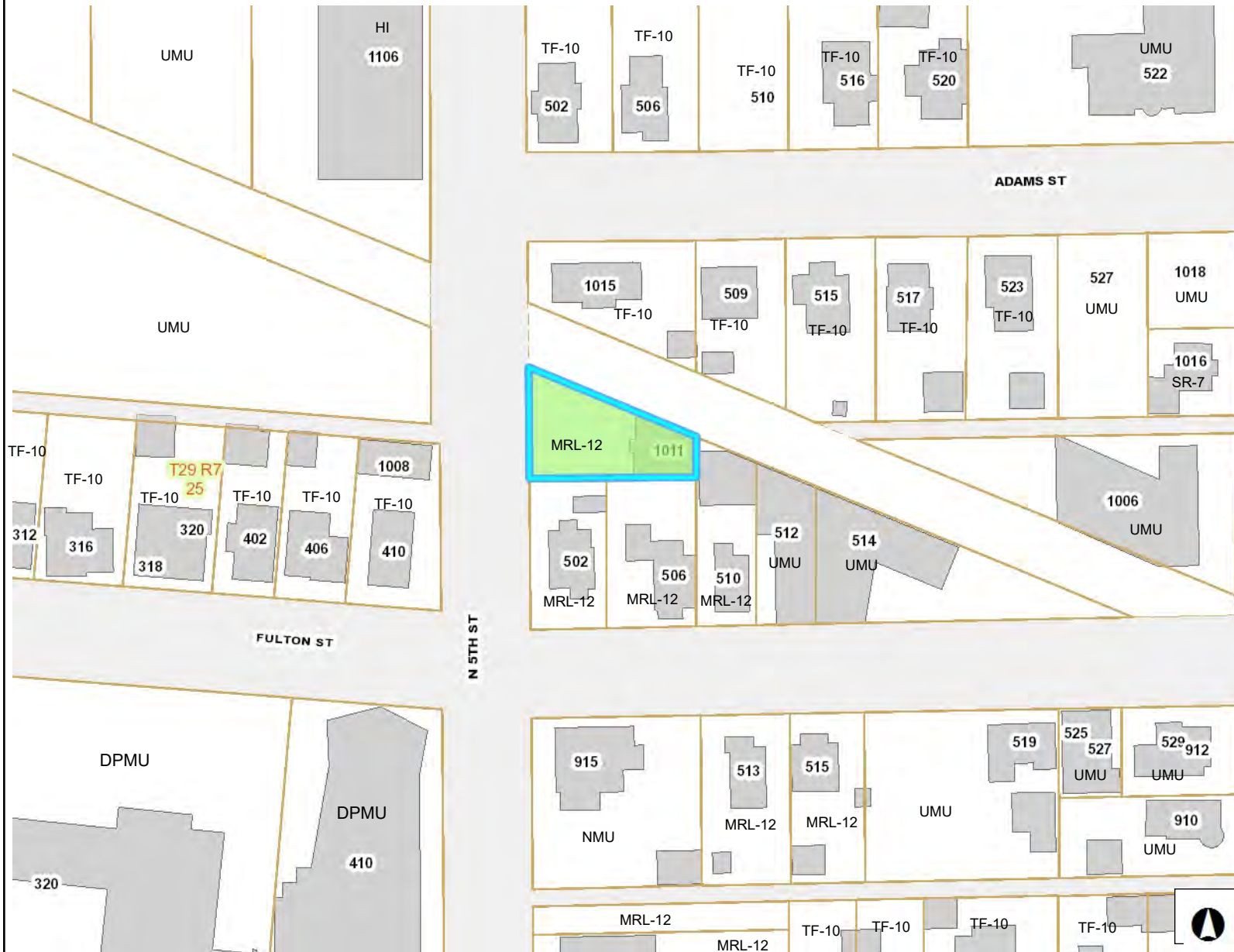
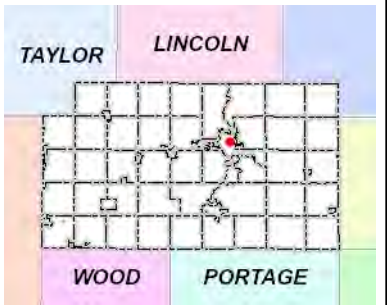
Staff recommends APPROVAL of rezoning from MRL-12 to NMU.

**COMMITTEE ACTION**

Plan Commission may recommend approving or denying the zone change. The request will then proceed to the City Council for final consideration.



# Land Information Mapping System



## Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Address Points
- Section Lines/Numbers
- Right Of Ways
- County-wide Buildings 2020
- Named Places
- Municipalities

50.00 0 50.00 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning. THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

**CITY OF WAUSAU**  
**APPLICATION FOR ZONING MAP AMENDMENT**

If you are requesting a zoning map amendment, please provide the following information. Note that a different application is required if you are requesting a conditional use and additional information is required if you are requesting Planned Unit Development District zoning. Should you have any questions about this form or the City's rezoning process, please call 715-261-6780 (Zoning) or 715-261-6760 (Planning).

1. Primary petitioner's Name (PRINT): The Hagar House

Primary petitioner's Address (PRINT): 915 N. 5th Street Wausau WI 54403

Primary petitioner's Telephone Number (with Area Code): 715-298-9994

Primary petitioner's representative to contact in case of questions about this petition:

Jessica Bretl

(Name - PRINT)  
410 S. 6th Ave Wausau, WI 54401

(Address - PRINT)  
715-581-0075

(Telephone No. with Area Code)

jess@thehagarhouse.org

Email Address

Names of additional petitioners, if any:

Melissa Cunico- President

(PRINTED Name)

Don Schnedier- Vice President

(PRINTED Name)

(PRINTED Address)

(PRINTED Address)

(Telephone No. / Email Address)

(Telephone No. / Email Address)

2. Name, Address, and Telephone Number of EACH additional property owner within the area proposed to be rezoned. If the primary petitioner owns all of the property proposed to be rezoned, merely indicate "NONE." (Add an additional page, if necessary)

Name (PRINT): NONE

Address (PRINT): \_\_\_\_\_

Phone No.: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name (PRINT): \_\_\_\_\_

Address (PRINT): \_\_\_\_\_

Phone No.: \_\_\_\_\_ Email Address: \_\_\_\_\_

3. **ADDRESS(ES)** of property to be rezoned: 1011 N. 5th Street Wausau, WI 54403  
(Please attach a legal description for all the area(s) proposed to be rezoned. This may be available from the City Assessment Department or City Engineering Department.)

4. A. **Existing** zoning district classification(s) of the land included within the petition: MRL-12  
B. **Proposed** zoning district classification(s) of the land included within the petition: NMU  
C. Existing land uses on land included within the petition: Empty parking lot, recently demoed an old blighted building. 

D. Proposed land use(s) following rezoning: Storage and office space for The Hagar House.

5. Please provide a brief narrative justifying the rezoning of this property. (Attach an additional sheet if necessary): For 40+ years the property has only ever been used commercially.   
There has not been a residential structure to warrant a MRL-12 zoning.   
Kinzie Green- Glen Witter rented it to local businesses- Wausau Daily Herald, etc. 
6. Please attach a map of the area showing the parcels proposed to be rezoned, adjacent streets, existing zoning on the parcels, and other information you feel might be helpful in evaluating your proposal.

Signature of Petitioner:  680aa00a-50d0-4e95-8bf1-fc90bf729ad0 Digitally signed by 680aa00a-50d0-4e95-8bf1-fc90bf729ad0 Date: 2024.04.22 13:59:19 -0500 Date: 4-22-24

***IF ADDITIONAL PAGES ARE NEEDED, PLEASE ATTACH HERETO***

Please return this completed form with the information indicated above and the publication fee of **\$400** to the City Planning Office (or the Department of Inspections) located in Wausau City Hall, 407 Grant Street, Wausau WI 54403.

Checks should be made payable to "City of Wausau".

Please note: ⇒ The fee for a requested **special Plan Commission meeting** is **\$550**.

⇒ All fees are subject to increase each year on January 1.

Should you have any questions regarding this form or the City's rezoning process, please phone 715-261-6780 (Zoning) or 715-261-6760 (Planning).

**For City Use Only**

Date received at City Hall: \_\_\_\_\_

Received by: \_\_\_\_\_

Amount submitted with application: \$\_\_\_\_\_ Check Number: \_\_\_\_\_

Month requested for public hearing: \_\_\_\_\_

Requested Common Council meeting date for final approval: \_\_\_\_\_

Notes: \_\_\_\_\_



## STAFF REPORT

**To:** Plan Commission  
**Prepared By:** Andrew Lynch, AICP Asst City Planner  
**Date:** May 14, 2024

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### REQUESTED ACTION:

#### Specific Implementation Plan

402 & 406 N 28<sup>th</sup> Ave

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|                            |                                                                                |
|----------------------------|--------------------------------------------------------------------------------|
| <b>LOCATION:</b>           | 402 & 406 N 28 <sup>th</sup> Ave                                               |
| <b>APPLICANT:</b>          | Walkabout Properties LLC                                                       |
| <b>EXISTING ZONING:</b>    | <b>PUD - GDP</b>                                                               |
| <b>EXISTING LAND USE:</b>  | Vacant                                                                         |
| <b>SIZE OF PARCEL:</b>     | 0.36 acres                                                                     |
| <b>REQUESTED ZONING:</b>   | <b>PUD - SIP</b>                                                               |
| <b>PURPOSE:</b>            | The petitioner will construct a parking lot for the adjoining office building. |
| <b>COMPREHENSIVE PLAN:</b> | This area is mapped as Suburban Commercial.                                    |
| <b>OTHER PLANS:</b>        | n/a                                                                            |

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#### **BACKGROUND INFORMATION:**

Walkabout Properties owns the medical office building at 402 N 28<sup>th</sup> Ave that is zoned PUD. They have purchased the adjoining lot at 406 N 28<sup>th</sup> Ave to expand their parking lot to better serve their facility. The combined facility will have 24 total parking stalls and there is a parking study included that shows the 150% maximum parking for their building space would be 17 stalls. However, due to 23.06.06 the need for a conditional use permit to exceed the maximum does not apply since the total number of stalls is under 25.

## **AMENDMENTS TO ZONING MAP**

*Criteria for approval.* In its review and action an application for a **Planned Development district**, the Plan Commission shall make findings with respect to the following criteria:

1. The proposed Planned Unit Development project is consistent with the overall purpose and intent of this title.
2. The proposed Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistency.)
3. The proposed Planned Unit Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Unit Development project, including but not limited to public sewers and water and public roads.
5. The proposed Planned Unit Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities.
6. The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site.
7. The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development.
8. The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.
9. The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions/base standard modifications variation of any standard or regulation of this title.
10. For Planned Unit Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

## **PUD CRITERIA**

Staff are satisfied that, after reviewing the included materials from the petitioner, the criteria for a SIP for the PUD have been met by this proposal.

## **STAFF RECOMMENDATION**

Staff recommends APPROVAL of the Specific Implementation Plan.

## **COMMITTEE ACTION**

Plan Commission may approve or deny.



March 8, 2024

City of Wausau

Attn: Bill Hebert

City of Wausau Zoning Administrator

407 Grant St.

Wausau, WI 54403

**Subject:** Review and approval of a Specific Implementation Plan (SIP) for 402 and 406 North 28<sup>th</sup> Avenue.

**Dear Bill,**

The intent of the proposed Specific Implementation Plan submittal is to provide additional parking opportunities and efficient access to further support the future medical clinic tenant requirements and their higher demand for parking. The subject properties outlined above have been fully designed to efficiently solve the higher parking demand.

Please find the following Wausau Code of Ordinance section responses aligning with the requirements of an SIP submittal.

**23.10.44(e) 1.a** – An existing conditions plan is included within the civil plan set on page C010.

**23.10.44(e) 1.b** – A proposed site plan is included within the civil plan set on page C100.

**23.10.44(e) 1.c** – A grading plan is included within the civil plan set on page C200.

**23.10.44(e) 1.d** – A landscape plan is included within the civil plan set on page C400.

**23.10.44(e) 1.e** – There is no building proposed as part of the improvements, therefore there are no architectural plans to be included with the SIP submittal.

**23.10.44(e) 1.f** – Engineering plans are included within the submittal.

**23.10.44(e) 1.g** – There is no proposed signage as part of this SIP submittal.

**23.10.44(e) 1.h** –

**i. Specific project themes and images:**

The project themes and images are to be reflective of those in the existing portion of the subject property. The proposed parking improvements are to align with the existing themes.

**ii. Specific mix of dwelling unit types and/or land uses.**

There are no applicable dwelling unit types as part of this submittal as there are no buildings. The proposed land use is a parking expansion to provide additional parking opportunities and efficient access to further support the future medical clinic tenant requirements and their higher demand for parking.

**iii. Specific residential densities and nonresidential intensities as described by dwelling units per acre, and landscaping surface area ratio and/or other appropriate measures of density and intensity.**

There are no proposed changes to the density and intensity based on this SIP submittal. The proposed plan exhibits a landscape surface area ratio of 39.4%, avoids any potential negative impacts to the adjacent neighborhood and aligns with the future land use goals outlined within the City of Wausau Comprehensive Plan.

**iv. Specific treatment of natural features, including parkland.**

There are no natural features in the adjacency of the proposed improvements.

**v. Specific relationship to nearby properties and public streets.**

There is a proposed driveway connection to north 28<sup>th</sup> Ave as part of the improvements. This driveway is to take the place of a previously existing driveway that served a single-family home on

the subject parcel. There is no other relationship to public streets proposed. The proposed parking expansion aligns with the themes of the nearby properties and will cause no adverse effects.

**vi. Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads; density/intensity of various parts of the development; building coverage, and landscaping surface area ratio of all land uses; proposed staging; and any other plans required by the Plan Commission.**

The precise areas of all development are represented within the civil plan set for this SIP submittal. Any other required plans by the plan commission will be provided by REI.

**vii. A statement of rationale as to why PUD zoning is proposed. This statement shall list the standard zoning requirements that, in the applicant's opinion, would inhibit the development project and the opportunities for community betterment that are available through the proposed PUD project.**

PUD zoning is proposed due to the combining of the existing medical office building with the parcel to the north to construct a parking lot to better serve the facility.

**viii. A complete list of zoning standards that would not be met by the proposed SIP and the location(s) in which such exceptions/base standard modifications would occur.**

The combined facility will have 24 total parking stalls and there is a parking study included that shows the 150% maximum parking for their building space would be 17 stalls. However, due to 23.06.06 the need for a conditional use permit to exceed the maximum does not apply since the total number of stalls is under 25. There are no other known zoning standards that would not be met by the proposed SIP.

**ix. Phasing schedule, if more than one development phase is intended.**

The proposed improvements are to be constructed in one phase.

**23.10.44(e) 1i – Agreements, bylaws, covenants, and other documents relative to the operational regulation**

There are no known agreements, bylaws, covenants, or other documents relative to the operational regulation of the SIP.

**23.10.44(e) 1j - A written description that demonstrates how the SIP is consistent with the approved GDP.**

The SIP is consistent with the approved GDP by maintaining the proposed general improvements of the parking expansion. The proposed stall counts, and general site layout are the same as those in the approved GDP. Minor changes to the plans are reflective in the SIP due to obtaining information of relatively shallow bedrock. The resulting changes are related to elevational adjustment to the proposed site and grading scheme, as well as minor layout changes to parking stall and sidewalk positioning.

Enclosed you will find the following documents for review and approval:

- Cover letter with SIP responses.
- Location Exhibit
- Civil site plans
- Parking Study
- SIP Application checklist

Please contact us if you need any additional information to complete the review and approval of this request. Thanks in advance for your help and cooperation with this matter.

Sincerely,  
REI Engineering, Inc.

*Cory Schlosser*

Cory Schlosser, Project Engineer

DRAWING FILE: P:\2400-2499\2492A - WALK-ABOUT ORTHOTICS - NORTH 28TH AVENUE - CITY OF WAUSAU\Drawing\Figures & Exhibits\2492A-SITE EXHIBIT.DWG LAYOUT: FIG 1  
PLOTTED: MAR 06, 2024 - 4:40PM PLOTTED BY: CORYS



**REI Engineering, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784, FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM

**REI**

**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

SCALE  
0 30 60



| DATE | REVISION | BY | CHKD |
|------|----------|----|------|
|      |          |    |      |
|      |          |    |      |
|      |          |    |      |

SURVEYED BY: AJB

DESIGNED BY: CCS

SURVEY DATE: 10-24-2023

SURVEY CHKD BY:

CIVIL CHKD BY: JJB

CIVIL DATE: 11/08/2023

SURVEY APVD BY:

CIVIL APVD BY: JJB

DRAWN BY: NAP

**LOCATION MAP**  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

**REI**  
REI No. 2492A  
SHEET FIG 1

REVIEW PLANS FOR:  
WALKABOUT PROPERTIES, LLC  
CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

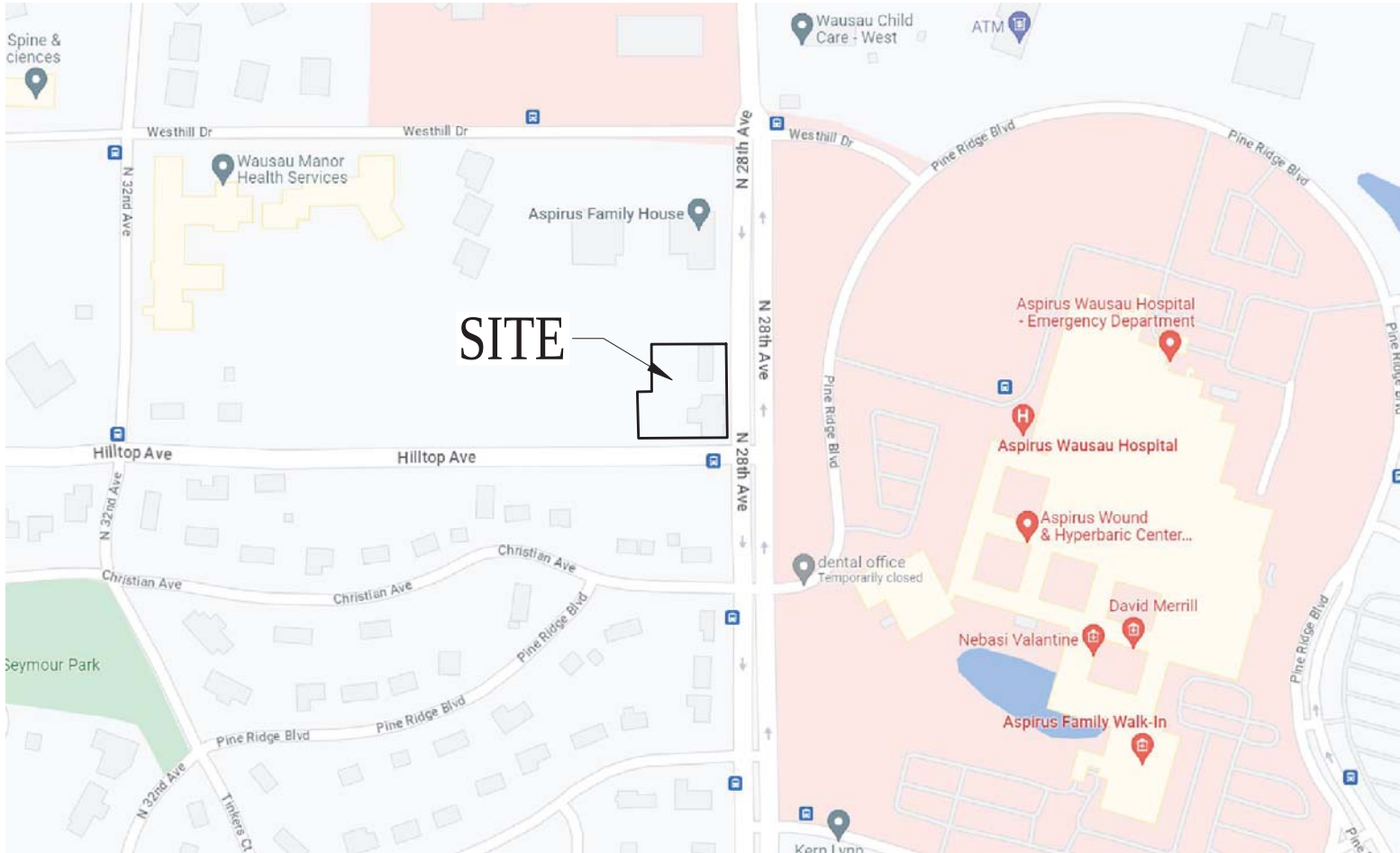
INDEX OF SHEETS

|            |                                |
|------------|--------------------------------|
| SHEET C001 | TITLE SHEET                    |
| SHEET C010 | EXISTING SITE CONDITIONS       |
| SHEET C020 | OVERLAY SITE PLAN              |
| SHEET C030 | DEMO PLAN                      |
| SHEET C100 | SITE PLAN                      |
| SHEET C200 | GRADING & EROSION CONTROL PLAN |
| SHEET C400 | LANDSCAPE PLAN                 |
| SHEET C400 | LANDSCAPE NOTES & DETAILS      |
| SHEET C800 | SITE DETAILS                   |
| SHEET C810 | EROSION CONTROL DETAILS        |
| SHEET C900 | SITE SPECIFICATIONS            |

TOTAL SHEETS = 11

LIST OF STANDARD ABBREVIATIONS

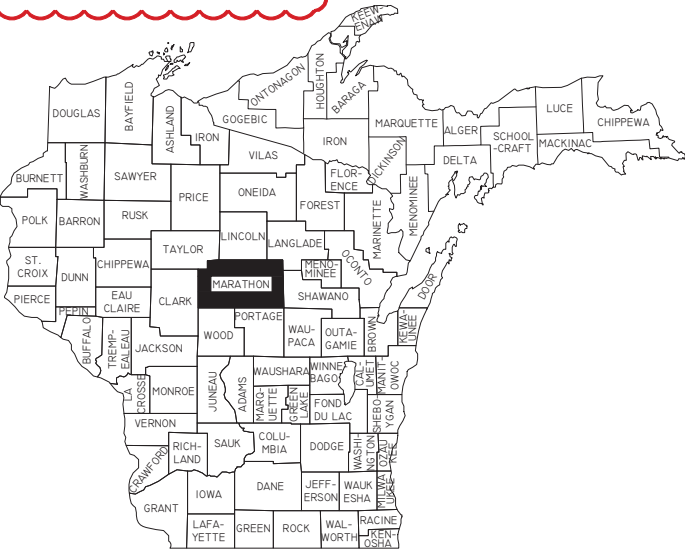
|       |                                 |
|-------|---------------------------------|
| &     | AND                             |
| AB    | AUGER BORING                    |
| ADT   | AVERAGE DAILY TRAFFIC           |
| BC    | BOTTOM OF CURB                  |
| BM    | BENCHMARK                       |
| BOC   | BACK OF CURB                    |
| BR    | BOTTOM OF RAMP                  |
| BS    | BOTTOM OF STEPS                 |
| BW    | BOTTOM OF WALL                  |
| CB    | CATCH BASIN                     |
| CMAC  | CORRUGATED METAL ARCH CULVERT   |
| CMBC  | CORRUGATED METAL BOX CULVERT    |
| CMP   | CORRUGATED METAL PIPE           |
| CO    | CLEANOUT                        |
| CONC. | CONCRETE                        |
| CPP   | CORRUGATED PLASTIC PIPE         |
| DGB   | DENSE GRADED BASE               |
| DIP   | DUCTILE IRON PIPE               |
| D/S   | DOWNSTREAM                      |
| (E)   | EAST                            |
| ELEV. | ELEVATION                       |
| EOG   | EDGE OF GRAVEL                  |
| FFE   | FINISHED FLOOR ELEVATION        |
| FG    | FINISH GRADE                    |
| F.O.  | FIBER OPTIC                     |
| INL   | INLET                           |
| HDPE  | HIGH DENSITY POLYETHYLENE PIPE  |
| HMA   | HOT MIX ASPHALT                 |
| HP    | HIGH POINT                      |
| IE    | INVERT ELEVATION                |
| LF    | LINEAL FEET                     |
| LP    | LOW POINT                       |
| MEG   | MATCH EXISTING GRADE            |
| MH    | MANHOLE                         |
| (N)   | NORTH                           |
| (NE)  | NORTHEAST                       |
| (NW)  | NORTHWEST                       |
| OH    | OVERHEAD                        |
| PC    | POINT OF CURVATURE              |
| PE    | POLYETHYLENE PIPE               |
| P/L   | PROPERTY LINE                   |
| PP    | POWER POLE                      |
| PT    | POINT OF TANGENCY               |
| PVC   | POLYVINYL CHLORIDE PIPE         |
| RCB   | REINFORCED CONCRETE BOX CULVERT |
| RCP   | REINFORCED CONCRETE PIPE        |
| RR    | RAIL ROAD                       |
| R/W   | RIGHT OF WAY                    |
| (S)   | SOUTH                           |
| SAN   | SANITARY SEWER                  |
| SB    | SOIL BORING                     |
| SS    | STORM SEWER                     |
| STM   | STORM                           |
| (SW)  | SOUTHWEST                       |
| TC    | TOP OF CURB                     |
| TBR   | TO BE REMOVED                   |
| TLE   | TEMPORARY LIMITED EASEMENT      |
| TNH   | TOP NUT FIRE HYDRANT            |
| TP    | TEST PIT                        |
| TR    | TOP OF RAMP                     |
| TYP.  | TYPICAL                         |
| TS    | TOP OF STEPS                    |
| TW    | TOP OF WALL                     |
| U/S   | UPSTREAM                        |
| VAR.  | VARIES                          |
| (W)   | WEST                            |



TOLL FREE: 811 OR (800) 242-8511  
HEARING IMPAIRED: TDD (800)542-2289  
EMERGENCY ONLY: (877) 500-9592  
WWW.DIGGERSHOTLINE.COM

**TITLE WORK REQUIRED**  
TITLE WORK FOR THE PROJECT SITE  
WAS NOT PROVIDED TO REI FOR  
REVIEW, THEREFORE REI WAS  
UNABLE TO VERIFY THE EXISTENCE  
OF EASEMENTS OR USE  
ENCUMBRANCES.

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



| LEGEND |                                          |
|--------|------------------------------------------|
|        | BENCHMARK                                |
|        | 1" IRON BAR                              |
|        | EXISTING MANHOLE                         |
|        | EXISTING TELEPHONE MANHOLE               |
|        | EXISTING STORM SEWER MANHOLE             |
|        | EXISTING SANITARY SEWER MANHOLE          |
|        | EXISTING HYDRANT                         |
|        | EXISTING WATER VALVE                     |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING LIGHT POLE                      |
|        | EXISTING WATER SHUTOFF                   |
|        | EXISTING DECIDUOUS TREE                  |
|        | EXISTING CONIFEROUS TREE                 |
|        | EXISTING GAS VALVE                       |
|        | EXISTING CURB INLET                      |
|        | EXISTING WELL                            |
|        | TEST PIT LOCATION                        |
|        | SOIL BORING                              |
|        | EXISTING AIR CONDITIONING UNIT           |
|        | EXISTING GAS METER                       |
|        | EXISTING ELECTRIC METER                  |
|        | EXISTING UTILITY PEDESTAL                |
|        | EXISTING RAILROAD TRACKS                 |
|        | EXISTING TREE LINE                       |
|        | EXISTING GUY POLE                        |
|        | EXISTING CABLE TV                        |
|        | EXISTING FIBER OPTIC CABLE               |
|        | EXISTING UNDERGROUND GAS                 |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING UNDERGROUND TELEPHONE           |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING WATER MAIN                      |
|        | EXISTING STORM SEWER                     |
|        | EXISTING SANITARY SEWER                  |
|        | EXISTING PROPERTY LINE                   |
|        | PROPOSED HANDICAP PARKING                |
|        | PROPOSED CURB STOP                       |
|        | PROPOSED HYDRANT                         |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED SANITARY SEWER                  |
|        | PROPOSED STORM SEWER                     |
|        | PROPOSED FORCE MAIN                      |
|        | PROPOSED SANITARY SEWER LATERAL          |
|        | PROPOSED WATER LATERAL                   |
|        | PROPOSED WATER MAIN                      |
|        | PROPOSED PUMP STATION                    |
|        | PROPOSED SANITARY MANHOLE                |
|        | PROPOSED STORM MANHOLE                   |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED CATCH BASIN                     |
|        | PROPOSED CLEANOUT                        |
|        | PROPOSED DRAINAGE FLOW                   |
|        | PROPOSED SLOPE                           |
|        | PROPOSED CURB & GUTTER                   |
|        | PROPOSED REJECT CURB & GUTTER            |
|        | PROPOSED MOUNTABLE CURB & GUTTER         |
|        | EXISTING GROUND CONTOUR (INTERVAL-1 FT.) |
|        | PROPOSED GROUND CONTOUR (INTERVAL-1 FT.) |
|        | PROPOSED SPOT ELEVATION (TOP OF CURB)    |
|        | PROPOSED SPOT ELEVATION (BOTTOM OF CURB) |
|        | PROPOSED SILT FENCE                      |
|        | PROPOSED INLET PROTECTION                |
|        | PROPOSED RIPRAP                          |
|        | PROPOSED EROSION MAT                     |
|        | PROPOSED SAWCUT                          |
|        | PROPOSED DRAINAGE SWALE                  |

**OWNER:**  
WALKABOUT PROPERTIES, LLC

**SURVEYOR:**  
REI ENGINEERING, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784

**ENGINEER:**  
REI ENGINEERING, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784  
PROJECT MANAGER  
CORY C. SCHLOSSER  
CIVIL ENGINEER

**APPROVING AUTHORITIES:**  
CITY OF WAUSAU

**CITY OF WAUSAU ENGINEERING**  
407 GRANT STREET  
WAUSAU, WISCONSIN 54403  
(715) 261-6748

**REI Engineering, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784 FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

NO SCALE



| DATE | REVISION | BY | CHKD | SURVEYED BY: AJB | DESIGNED BY: CCS   | SURVEY DATE: 10-24-2023 |
|------|----------|----|------|------------------|--------------------|-------------------------|
|      |          |    |      | SURVEY CHKD BY:  | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023  |
|      |          |    |      | SURVEY APVD BY:  | CIVIL APVD BY: JJB | DRAWN BY: NAP           |

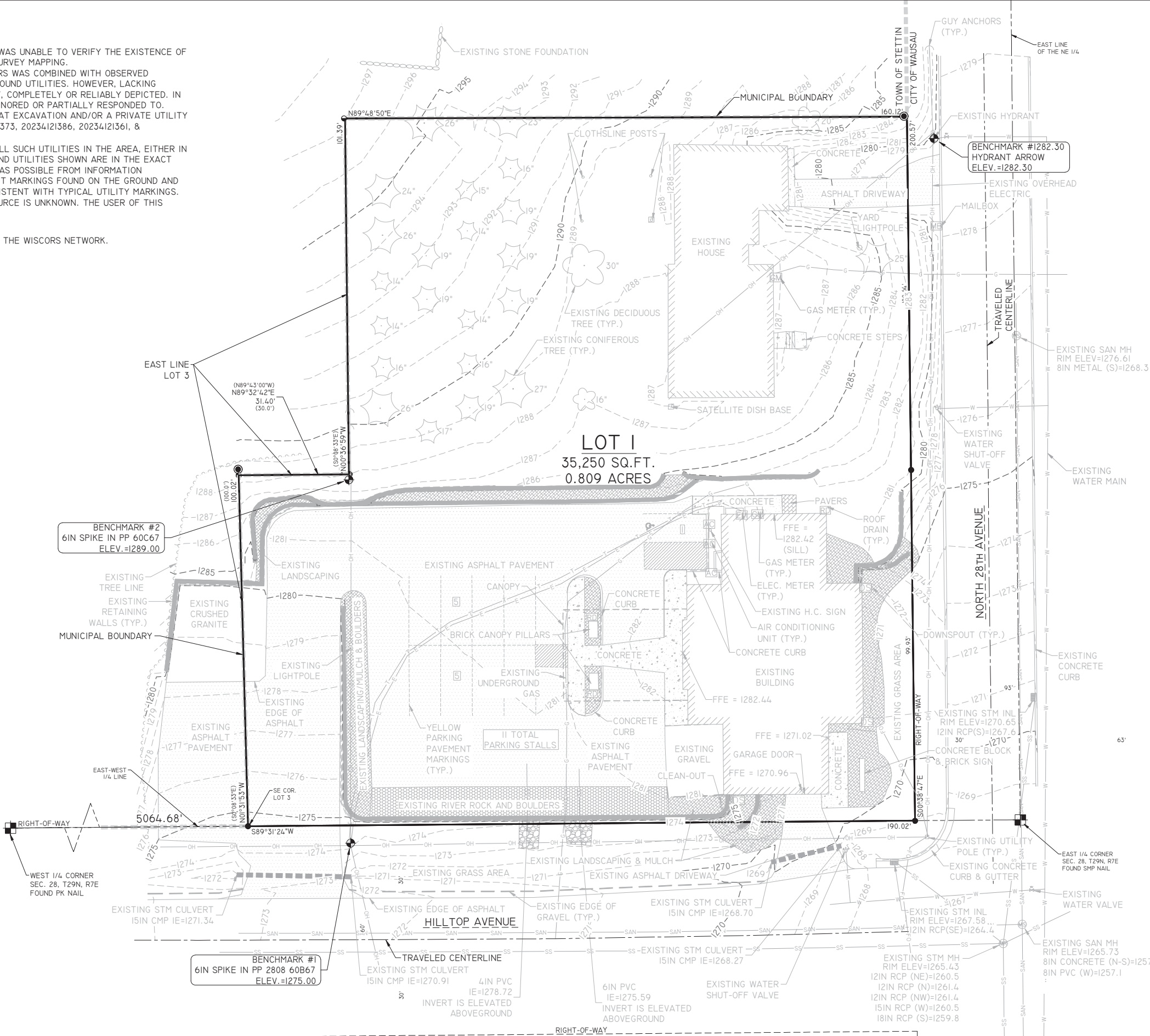
**TITLE SHEET**  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

**REI**  
REI No. 2492A  
SHEET C001

DRAWING FILE: P:\2400-2499\2492A - WALK-ABOUT ORTHOTICS - NORTH 28TH AVENUE - CITY OF WAUSAU\Drawing\2492A-C010-EXISTING.DWG LAYOUT: C010  
PLOTTED: MAR 01, 2024 - 7:46AM PLOTTED BY: CORY

SURVEY NOTES:

1. FIELDWORK PERFORMED BY REI ON 10-24-2023.
2. TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY MAPPING.
3. PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY THE DIGGER TICKETS FOR THIS SURVEY WERE #20234121373, 20234121386, 20234121361, & 20234121382.  
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PAINT MARKINGS FOUND ON THE GROUND AND SHOWN HEREON AS EVIDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTILITIES ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS - THEIR SOURCE IS UNKNOWN. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK.
4. PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY.
5. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.



REI Engineering, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784, FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM



**REI**

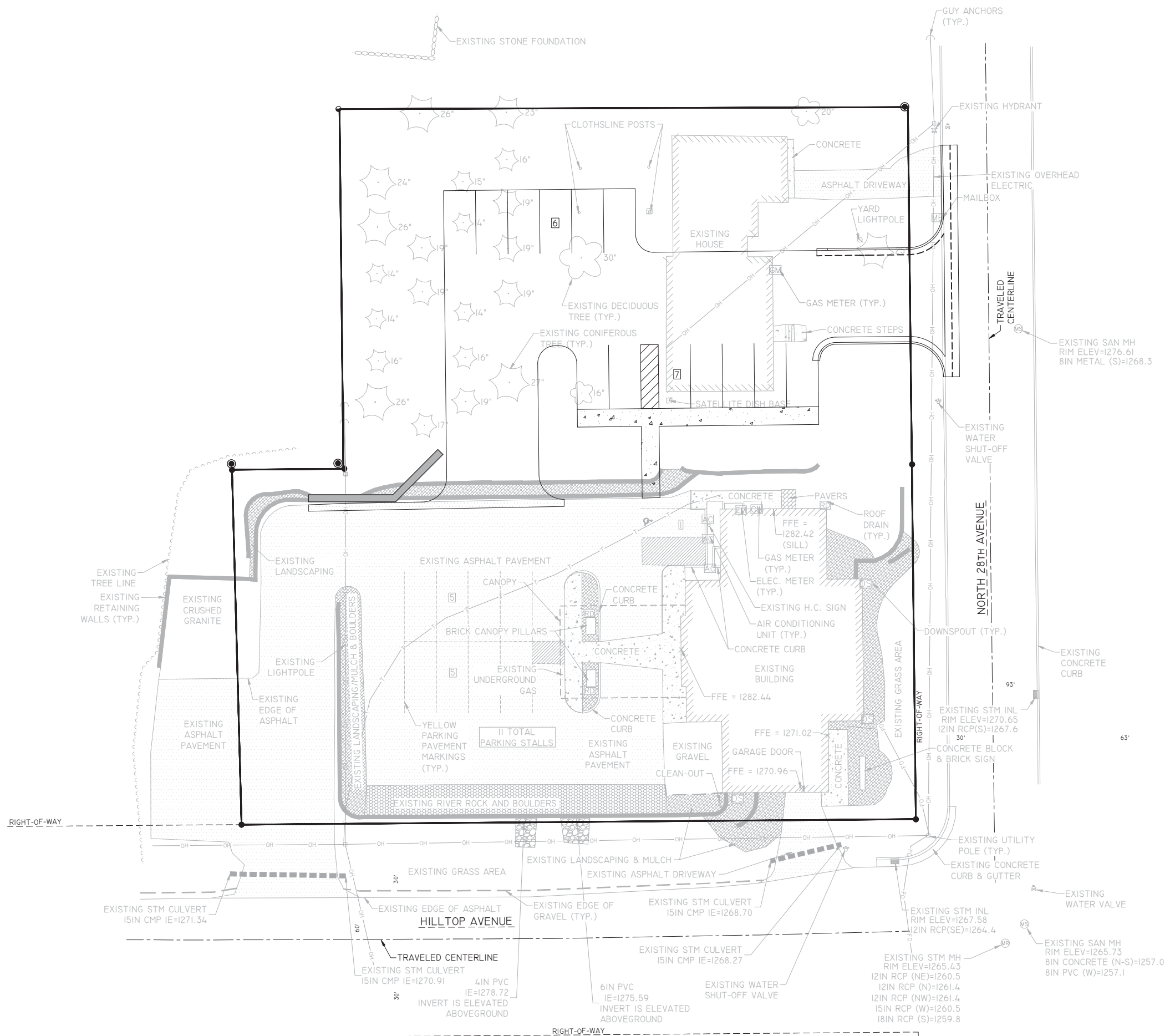
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING



| DATE | REVISION | BY | CHKD | SURVEYED BY:    | DESIGNED BY:       | SURVEY DATE:           |
|------|----------|----|------|-----------------|--------------------|------------------------|
|      |          |    |      | AJB             | CCS                | 10-24-2023             |
|      |          |    |      | SURVEY CHKD BY: | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023 |
|      |          |    |      | SURVEY APVD BY: | CIVIL APVD BY: JJB | DRAWN BY: NAP          |

EXISTING SITE CONDITIONS  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

REI No. 2492A  
SHEET C010



**REI Engineering, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784, FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM

**REI**

**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

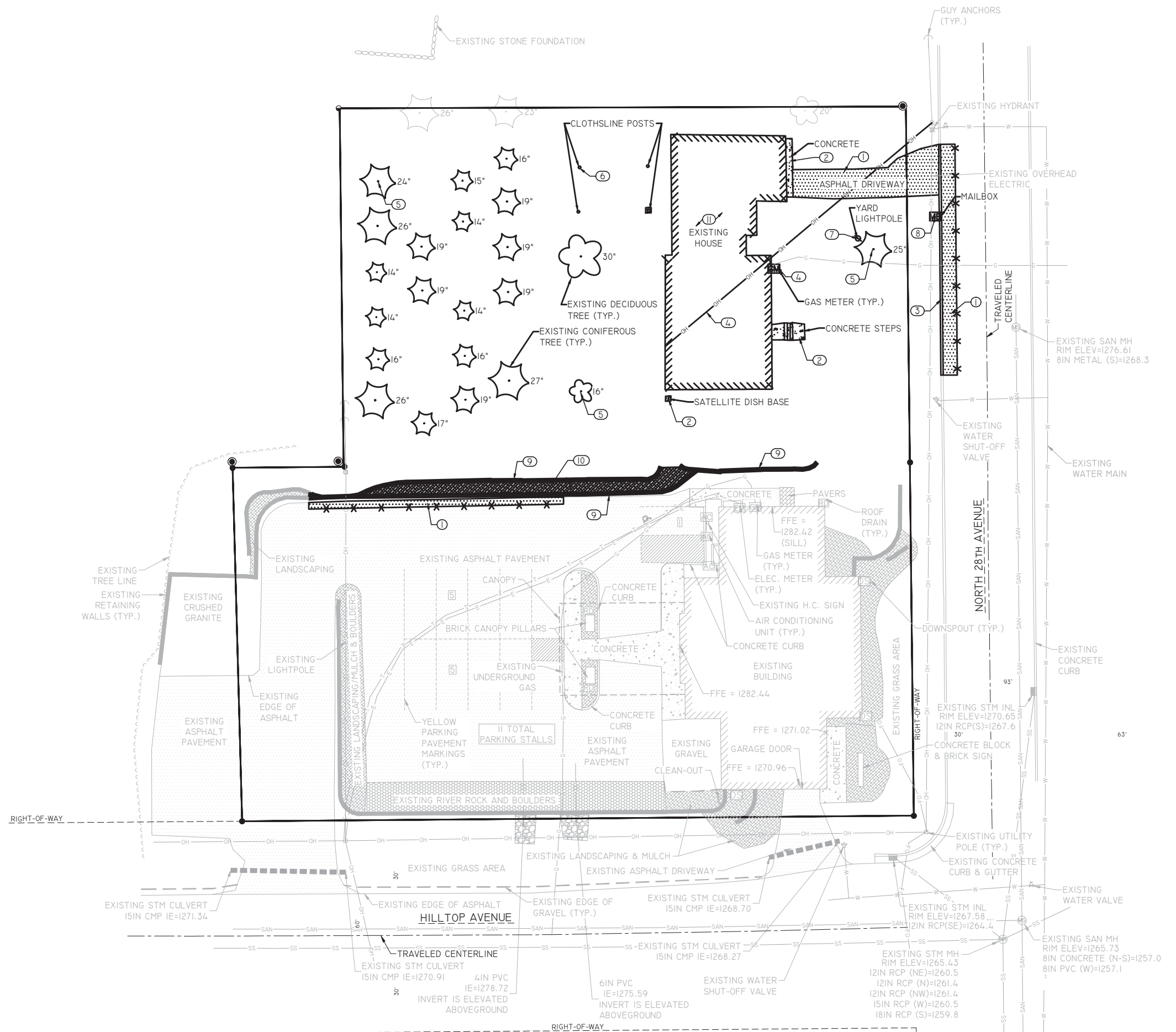


|      |          |    |      |                  |                    |                         |
|------|----------|----|------|------------------|--------------------|-------------------------|
| DATE | REVISION | BY | CHKD | SURVEYED BY: AJB | DESIGNED BY: CCS   | SURVEY DATE: 10-24-2023 |
|      |          |    |      | SURVEY CHKD BY:  | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023  |
|      |          |    |      | SURVEY APVD BY:  | CIVIL APVD BY: JJB | DRAWN BY: NAP           |

OVERLAY SITE PLAN  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

**REI**  
EI No. 2492A  
EET C020

- I. SAWCUT AND REMOVE ASPHALT.
2. SAWCUT AND REMOVE CONCRETE.
3. REMOVE CURB.
4. DISCONNECT AND REMOVE UTILITIES.
5. REMOVE TREES, TYPICAL.
6. REMOVE POSTS, TYPICAL.
7. REMOVE LIGHT POLE.
8. REMOVE MAILBOX.
9. REMOVE RETAINING WALL.
10. REMOVE LANDSCAPING.
- II. RAZE STRUCTURE.



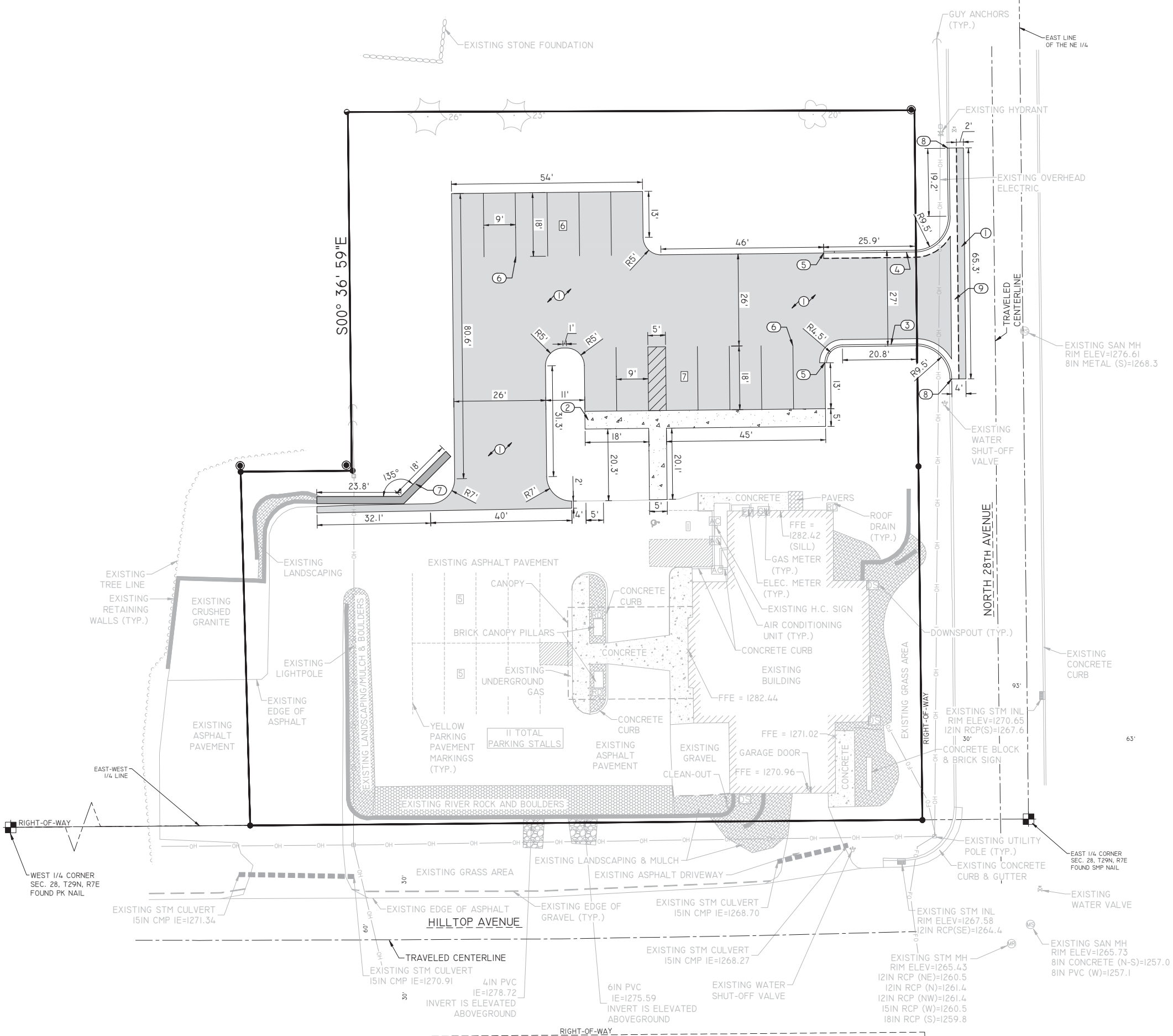
**REI**  
EI No. 2492A  
EET C030

KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL A/C800.
2. 4" CONCRETE SIDEWALK. SEE DETAIL B/C800.
3. 24" CURB AND GUTTER. SEE DETAIL C/C800.
4. 24" REJECT CURB AND GUTTER. SEE DETAIL C/C800.
5. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL D/C800.
6. PAINTED STRIPING, YELLOW. (TYPICAL)
7. PROPOSED RETAINING WALL.
8. TAPER CURB HEAD TO MATCH EXISTING CURB HEAD.
9. 24' REJECT GUTTER PAN TO MATCH EXISTING ASPHALT.

NOTES:

- (A) PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, S00°36'59"E, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.



REI Engineering, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784, FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM



**REI**

CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING



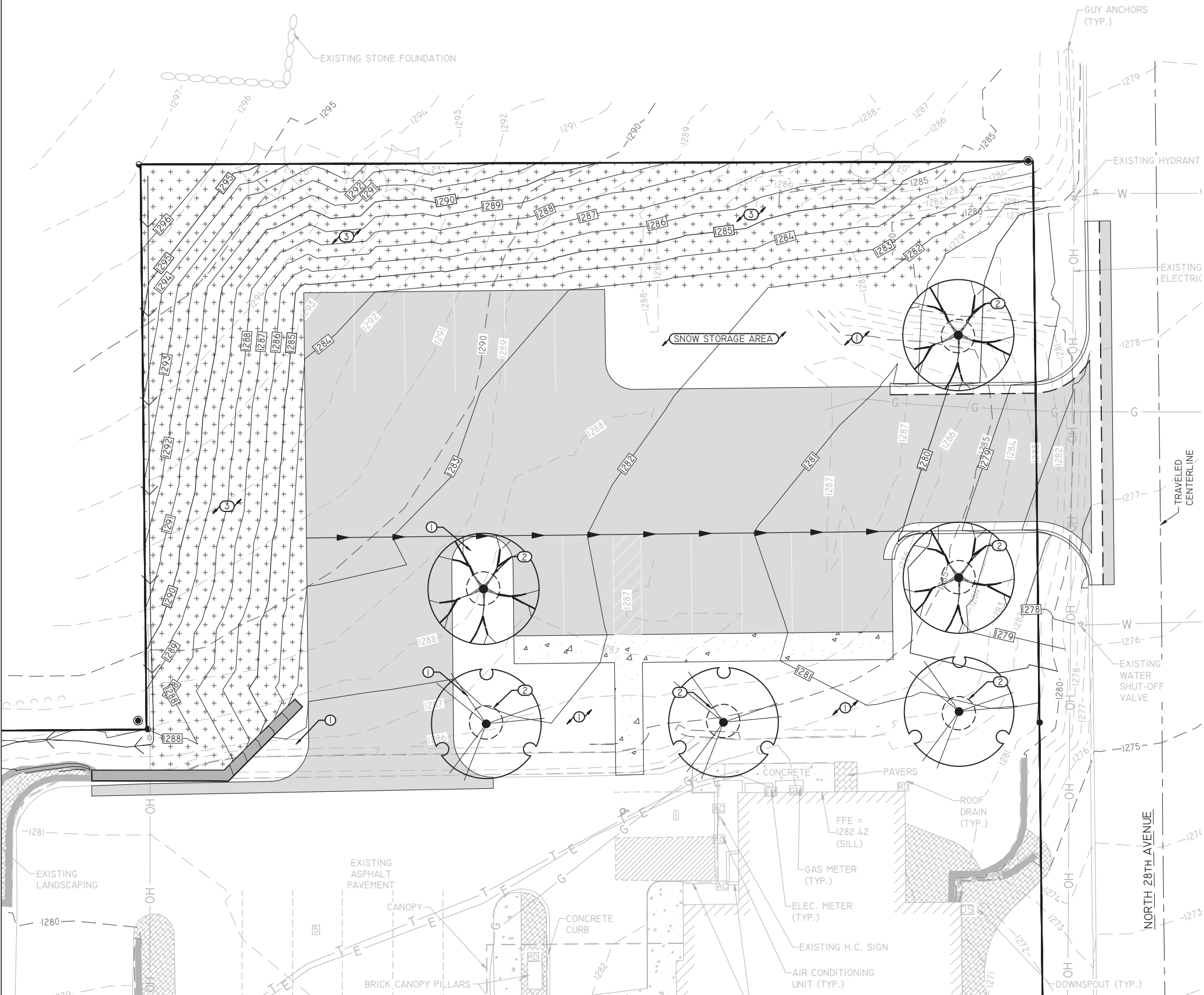
| DATE | REVISION | BY | CHKD | SURVEYED BY:    | DESIGNED BY:       | SURVEY DATE:           |
|------|----------|----|------|-----------------|--------------------|------------------------|
|      |          |    |      | AJB             | CCS                | 10-24-2023             |
|      |          |    |      | SURVEY CHKD BY: | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023 |
|      |          |    |      | SURVEY APVD BY: | CIVIL APVD BY: JJB | DRAWN BY: NAP          |

**SITE PLAN**  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

**REI**  
REI No. 2492A  
SHEET C100



DRAWING FILE: P:\2400-2499\2492A - WALK-A-BOUT ORTHOTICS - NORTH 28TH AVENUE - CITY OF WAUSAU\DRAWING\LANDS\2492A-C400-LANDSCAPE.DWG LAYOUT: C400  
PLOTTED: MAR 01, 2024 - 7:47AM PLOTTED BY: CORYS



KEYED NOTES

1. SEED FERTILIZER & MULCH (HYDROSEED), \*ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. APPLY WISDOT NET-FREE CLASS I, URBAN TYPE B EROSION MAT ON SLOPING AREAS STEEPER THAN 4:1.
2. 6' DIAMETER WOOD MULCH TREE RING, 3'-4" DEPTH, DARK BROWN COLOR, \*ALL TREES PLANTED WITHIN SEEDED AREAS.
3. (5,700 SF TOTAL) AGRECOL, SHORTGRASS PRAIRIE FOR DRY SOILS, APPLY GLYPHOSATE HERBICIDE TO AREA WHEN MAJORITY OF WEEDS ARE 2'-3" TALL. WAIT 10 DAYS THEN FINELY TILL THE SOIL ONLY 1"-2" DOWN AND PLANT IMMEDIATELY BY HAND BROADCASTING AT A RATE OF 11 LBS/ACRE. RAKE OR DRAG AREA LIGHTLY, COVERING THE SEED WITH ABOUT 1/2" TO 3/4" OF SOIL. ROLL AREA FIRMLY AFTER RAKING. MULCH PRAIRIE SEEDED AREAS LESS THAN 4:1 SLOPE WITH 1" OF WEED FREE STRAW MULCH. APPLY WISDOT NET-FREE CLASS I, URBAN TYPE B EROSION MAT ON SLOPING AREAS STEEPER THAN 4:1. \*REFER TO AGRECOL'S "NATIVE SEEDING INSTRUCTIONS" ON THEIR WEBSITE FOR DETAILED INSTRUCTIONS/GUIDELINES FOR RECOMMENDED PLANTING TIMES, SUCCESSFUL SEED ESTABLISHMENT AND MANAGEMENT. (LINK BELOW)

[HTTPS://WWW.AGRECOL.COM/NATIVE-SEEDING-INSTRUCTIONS\\_EP\\_44.HTML](https://www.agrecol.com/native-seeding-instructions_ep_44.html)

PLANT SCHEDULE

| SYMBOL          | COMMON NAME                 | BOTANICAL NAME                | SIZE      | CONT. | QTY |
|-----------------|-----------------------------|-------------------------------|-----------|-------|-----|
| DECIDUOUS TREES |                             |                               |           |       |     |
|                 | Autumn Blaze® Freeman Maple | Acer x freemanii 'Jeffersred' | 1.5" Cal. | B&B   | 3   |
|                 | Swamp White Oak             | Quercus bicolor               | 1.5" Cal. | B&B   | 3   |

**REI Engineering, INC.**  
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PHONE: 715.675.9784, FAX: 715.675.4060  
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**REI**

**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

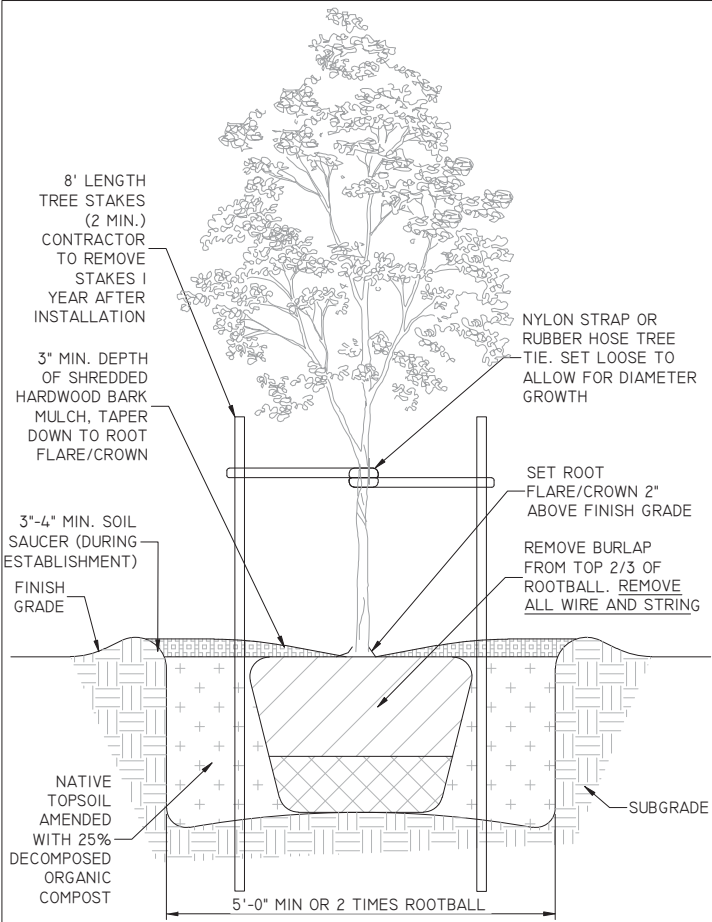


| DATE | REVISION | BY | CHKD | SURVEYED BY: AJB | DESIGNED BY: CCS   | SURVEY DATE: 10-24-2023 |
|------|----------|----|------|------------------|--------------------|-------------------------|
|      |          |    |      | SURVEY CHKD BY:  | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023  |
|      |          |    |      | SURVEY APVD BY:  | CIVIL APVD BY: JJB | DRAWN BY: KJS           |

**LANDSCAPE PLAN**  
WALKABOUT PROPERTIES, LLC  
402 & 406 NORTH 28TH AVENUE  
WAUSAU, WISCONSIN

**REI**  
REI No. 2492A  
SHEET C400

DRAWING FILE: P:\2400-2499\2492A - WALK-A-BOUT ORTHOTICS - NORTH 28TH AVENUE - CITY OF WAUSAU\Drawing\LANDS\2492A-C400-LANDSCAPE.DWG LAYOUT: C401  
PLOTTED: MAR 01, 2024 - 7:47AM PLOTTED BY: CORYS



DECIDUOUS TREE - PLANTING DETAIL

GENERAL NOTES:

- (A) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 5 WORKING DAYS PRIOR TO DEMOLITION, EXCAVATION OR ANY CONSTRUCTION ACTIVITY.
- (C) ALL PLANT MATERIAL SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION OF PROJECT AND ACCEPTANCE BY OWNER, WITH A ONE TIME REPLACEMENT WARRANTY UPON REQUEST BY OWNER. WARRANTY EXPIRES AFTER FIRST FULL YEAR FOLLOWING PROJECT COMPLETION.
- (D) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 6" TOPSOIL DEPTH FOR ALL AREAS TO BE SEEDED/SODDED THROUGHOUT PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO SEED/SOD. TOPSOIL SHALL BE CLEAN AND FREE OF STONES, WEEDS AND OTHER UNDESIRABLE DEBRIS.
- (E) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 12" PLANTING SOIL DEPTH FOR ALL PROPOSED PLANTING BED AREAS THROUGHOUT THE PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO PLANT INSTALLATION. PLANTING SOIL & AREA SHALL BE CLEAN AND FREE OF STONES, WEEDS, CONCRETE WASTE AND OTHER UNDESIRABLE DEBRIS.
- (F) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING TOPSOIL AND SEEDING OR SODDING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- (G) CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER LANDSCAPE CONSTRUCTION ACTIVITIES ARE COMPLETE AND APPROVED BY OWNER. \*THIS TO BE DONE DAILY AS DEEMED NECESSARY BY MUNICIPALITY.



| DATE | REVISION | BY | CHKD | SURVEYED BY: AJB | DESIGNED BY: CCS   | SURVEY DATE: 10-24-2023 |
|------|----------|----|------|------------------|--------------------|-------------------------|
|      |          |    |      | SURVEY CHKD BY:  | CIVIL CHKD BY: JJB | CIVIL DATE: 11/08/2023  |
|      |          |    |      | SURVEY APVD BY:  | CIVIL APVD BY: JJB | DRAWN BY: KJS           |

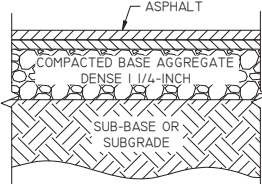
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PLOTTED: MAR 01, 2024 - 7:48AM PLOTTED BY: CORYS

LIGHT DUTY

|                              |      |
|------------------------------|------|
| SURFACE COURSE (4 LT 58-28S) | 1.5" |
| BINDER COURSE (4 LT 58-28S)  | 1.5" |
| BASE AGGREGATE               | 8"   |

HEAVY DUTY

|                              |       |
|------------------------------|-------|
| SURFACE COURSE (4 LT 58-28S) | 1.75" |
| BINDER COURSE (3 LT 58-28S)  | 2.25" |
| BASE AGGREGATE               | 8"    |



NOTES:

1. BASE AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT.

2. ASPHALT TO BE CONSIDERED LIGHT DUTY UNLESS SPECIFIED OTHERWISE.

3. REPLACE ASPHALT IN THE PUBLIC R.O.W. IN-KIND.

A

C800

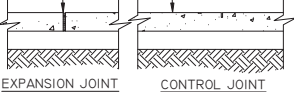
ASPHALT PAVEMENT

NTS

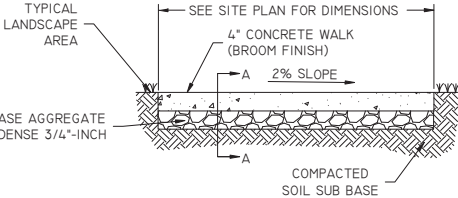
WHERE SIDEWALK IS IN CONTACT WITH A BUILDING, PROVIDE 1/2" EXPANSION JOINT.

1/2" EXPANSION JOINT NOT TO EXCEED 90'-0" APART (AT 5' WIDTH), 75'-0" APART (AT 6' WIDTH), 55'-0" APART (AT 8' WIDTH).

1/4" WIDE X 1" DEEP CONTROL JOINT AT A SPACING EQUAL TO THE WIDTH OF THE SIDEWALK.



SECTION A-A

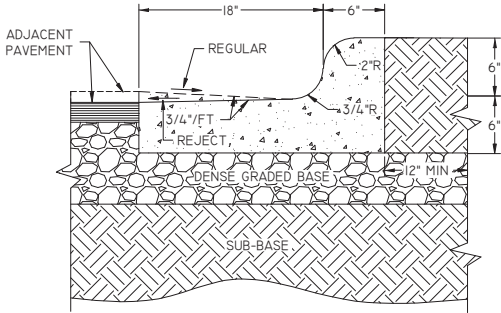


B

C800

SIDEWALK SECTION

NTS



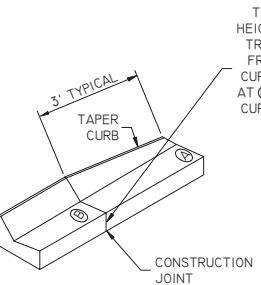
SEE SITE PLAN FOR DESIGNATION

C

C800

24" CURB & GUTTER / 24" REJECT CURB & GUTTER

NTS



D

C800

STD CURB & GUTTER TERMINI

NTS



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PLOTTED: MAR 01, 2024 - 7:48AM PLOTTED BY: CORYS

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS , ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL DEVICES.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTPS://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](https://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SECTION 211 OF THE WISDOT STANDARD SPECIFICATIONS.
19. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
20. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
21. CONCRETE PAVING SHALL CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE CURB AND GUTTER SHALL CONFORM TO THE APPLICABLE REGULATIONS OF SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE MATERIAL SHALL BE TYPE A OR A-FA AS DEFINED WITHIN SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS WITH A DESIGN STRENGTH OF 4,500 PSI.
22. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION. PAVEMENT MARKINGS PLACED WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF SECTION 646 OF THE WISDOT STANDARD SPECS (EPOXY).
23. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF LEGALLY OFFSITE.
24. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. REFER TO LANDSCAPE PLAN.
25. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
26. ELEVATIONS SHOWN AT THE TOP AND BOTTOM OF WALL DEPICT THE EXPOSED WALL FACE. THESE ELEVATIONS DO NOT ACCOUNT FOR WALL FOOTING DESIGN.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

|                                         |
|-----------------------------------------|
| <b>Walkabout - Parking Study</b>        |
| <b>402 N 28TH AVE, WAUSAU, WI 54401</b> |

| <i>Tenant</i> | <i>Land Use</i>             | <i>Square Feet/Capacity</i> | <i>Min. No. Parking Stalls</i>         | <i>Max. No. Parking Stalls</i> | <i>Min. No, Parking Stalls</i> | <i>Max. No. Parking Stalls</i> | <i>Existing No. Parking Stalls</i> | <i>Proposed No. Parking Stalls</i> | <i>Total Parking Stalls (Existing &amp; Proposed)</i> |
|---------------|-----------------------------|-----------------------------|----------------------------------------|--------------------------------|--------------------------------|--------------------------------|------------------------------------|------------------------------------|-------------------------------------------------------|
| Tenant 1      | Healthcare (Medical Clinic) | 3,200                       | 1 per 400 SF GFA in excess of 2,000 SF | 150% of Min.                   | 5.5                            | 8.25                           | 5.5                                | 6.5                                | 12                                                    |
| Tenant 2      | Healthcare (Medical Clinic) | 3,200                       | 1 per 400 SF GFA in excess of 2,000 SF | 150% of Min.                   | 5.5                            | 8.25                           | 5.5                                | 6.5                                | 12                                                    |
|               |                             |                             |                                        | total                          | 11                             | 17                             | 11                                 | 13                                 | 24                                                    |

## City of Wausau Procedural Checklist for Planned Developments

The process for review and approval of the General Development Plan shall be identical to that for zoning map amendments per Section 23.10.31. The process for review and approval of the Specific Implementation Plan shall be identical to that for site plans per Section 23.10.42.

This form is designed to be used by the Applicant as a guide for submitting a complete for a Planned Development (PD) and by the City to process the application.

Name, company, and client (if applicable): Cory Schlosser - REI Engineering

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Phone: 715-675-9784    Email: [Cschlosser@REIengineering.com](mailto:Cschlosser@REIengineering.com)

Property address for Planned Development: 402 N 28TH AVE, WAUSAU, WI 54401

PIN: 29129072810956

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### I Application Packet Requirements

The Applicant shall submit one (1) electronic or four (4) paper copies of the application.

- ☐ **A. Pre-Application Conference.** Prior to formal petition for zoning to a PD district, the applicant shall confer with appropriate City staff in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the requirements for processing. Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the applicant or the City, but should be considered as the informal, non-binding basis for proceeding to the next step.
- ☐ **B. Optional Concept Plan.** Upon completion of the pre-application conference, described above, the applicant may decide to prepare an optional conceptual plan for review by the Plan Commission.

The Plan Commission or Common Council may waive submittal information listed below, and/or may likewise require additional information beyond that listed below. The Plan Commission shall accept the concept plan and inform the application to move on to the next step in the PD process, General Development Plan.

The concept plan submittal shall include the following items:

- ☐ A location map of the subject property and its vicinity.
- ☐ A general written description of the proposed PD, including:
  - ☐ General project themes and images.
  - ☐ The general mix of dwelling unit types and/or land uses.
  - ☐ Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface ratio, and/or other appropriate measures of density and intensity.
  - ☐ General treatment of natural features.
- ☐ Relationship to nearby properties and public streets.
- ☐ Relationship of the project to the Comprehensive Plan.
- ☐ Description of potentially requested exceptions from the requirements of this Chapter. The purpose of this information shall be to provide the Plan Commission with information necessary to determine the relative merits of the project with respect to private versus public benefit, and to evaluate the potential adverse impacts created by making exceptions to standard zoning district requirements.

- ☐ A conceptual drawing of the site plan layout, including the general locations of public streets and/or private drives.
  - ☐ **C. General Development Plan (GDP):** REFER TO ATTACHED SITE PLAN SET & COVER LETTER/PROJECT DESCRIPTION FOR ALL ASSOCIATED MATERIALS.
- The GDP submittal shall include the following items:
- ☐ General location map of the subject site depicting:
    - ☐ All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
    - ☐ Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
    - ☐ Current zoning of the subject site and abutting properties, and the jurisdiction(s) that maintains that control.
    - ☐ A graphic scale and a north arrow.
  - ☐ Generalized site plan showing the pattern or proposed land uses, including:
    - ☐ General size, shape, and arrangement of lots and specific use areas.
    - ☐ Basic street pattern.
    - ☐ General site grading plan showing preliminary road grades.
    - ☐ Basic storm drainage pattern, including proposed on-site stormwater detention.
    - ☐ General location of recreational and open space areas, including designation of any such areas to be classified as common open space.
  - ☐ Statistical data, including:
    - ☐ Minimum lot sizes in the development.
    - ☐ Approximate areas of all lots.
    - ☐ Density/intensity of various parts of the development.
    - ☐ Building coverage.
    - ☐ Landscaping surface area ratio of all land uses.
    - ☐ Expected staging.
  - ☐ Conceptual landscaping plan, noting approximate locations of foundation, street, yard, and paving landscaping, and comparing the proposed landscaping plan to the standard landscaping requirements in Article VIII.
  - ☐ General signage plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices.
  - ☐ General outline of property owners' association, covenants, easements, and deed restrictions.
  - ☐ A written description of the proposed Planned Development, including:
    - ☐ General project themes and images.
    - ☐ The general mix of dwelling unit types and/or land uses.
    - ☐ Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface area ratio, and/or other appropriate measures of density and intensity.
    - ☐ General treatment of natural features.
    - ☐ General relationship to nearby properties and public streets.
    - ☐ General relationship of the project to the Comprehensive Plan.

- ☐ Proposed exceptions from the requirements of this Chapter.
- ☐ A Traffic Impact Analysis – if deemed necessary by Zoning Administrator – that evaluates the adequacy of the existing and proposed transportation system that services the PD and addresses all elements of the transportation system as it related to pedestrians, bicyclists, transit, vehicular traffic, and adjacent land development. WisDOT TIA requirements must be followed if a development project has direct access to the State Trunk Highway System.
- ☐ A utility feasibility analysis.

**✓ D. Specific Implementation Plan (SIP):**

Upon completion of the GDP review process, described above, the applicant shall submit a Specific Implementation Plan to the Zoning Administrator for determination of completeness. The SIP may be placed on the Plan Commission agenda once the Zoning Administrator determines the SIP to be complete.

The Zoning Administrator, or by majority vote of the Plan Commission may waive submittal information listed below, and/or may likewise require additional information beyond that listed below. Note that the area included in an SIP may be only a portion of the area included in a previously approved GDP. The SIP submittal shall include the following items:

- ✓ An existing conditions map of the subject site depicting the following:
  - ✓ All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
  - ✓ Current zoning of the subject property and all abutting properties, and the jurisdiction(s) that maintains that control.
  - ✓ Existing utilities and recorded easements.
  - ✓ All lot dimensions of the subject site.
  - ✓ A graphic scale and a north arrow.
- ✓ An SIP map of the proposed site showing at least the following:
  - ✓ A final plat showing detailed lot layout, intended uses of each parcel, public dedication, public and private streets, driveways, walkways, and parking facilities. (from existing code)
  - ✓ The arrangements of buildings.
  - ✓ Specific treatment and location of recreational and open space areas, including designation of any such areas to be classified as common open space.
- ✓ Proposed grading plan.
- ✓ Specific landscaping plan for the subject site, specifying the location, species, and installation size of all plantings. The landscaping plans shall include a table summarizing all proposed species.
- ☐ Architectural plans for any nonresidential buildings, multifamily structures, or building clusters, other than conventional single-family homes or individual lots, in sufficient detail to indicate the floor area, bulk, and visual character of such buildings.
- ✓ Engineering plans for all water and sewer systems, stormwater systems, roads, parking areas, and walkways.
- ☐ Signage plan for the project, including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes that are proposed to vary from City standards or common practices.
- ✓ Specific written description of the proposed SIP including:
  - ✓ Specific project themes and images.
  - ✓ Specific mix of dwelling unit types and/or land uses.

- ✓ Specific residential densities and nonresidential intensities as described by dwelling units per acre, and landscaping surface area ratio and/or other appropriate measures of density and intensity.
- ✓ Specific treatment of natural features, including parkland.
- ✓ Specific relationship to nearby properties and public streets.
- ✓ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads; density/intensity of various parts of the development; building coverage, and landscaping surface area ratio of all land uses; proposed staging; and any other plans required by the Plan Commission.
- ✓ A statement of rationale as to why PD zoning is proposed. This statement shall list the standard zoning requirements that, in the applicant's opinion, would inhibit the development project and the opportunities for community betterment that are available through the proposed PD project.
- ✓ A complete list of zoning standards that would not be met by the proposed SIP and the location(s) in which such exceptions would occur.
- ✓ Phasing schedule, if more than one development phase is intended.
- ✓ Agreements, bylaws, covenants, and other documents relative to the operational regulations of the development and particularly providing for the permanent preservation and maintenance of common open areas and amenities.
- ✓ A written description that demonstrates how the SIP is consistent with the approved GDP and any and all differences between the requirements of the approved GDP and the proposed SIP.

## **II Criteria Used to Evaluate the Planned Development Application**

See Section 23.10.44(f) for criteria used by the Zoning Administrator to evaluate the application. The Plan Commission shall make findings with respect to the following criteria:

1. The proposed Planned Development project is consistent with the overall purpose and intent of this Title.
2. The proposed Planned Development project is consistent with the City's Comprehensive Plan and other area plans. (It is the responsibility of the City to determine such consistency.)
3. The proposed Planned Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Development project, including but not limited to public sewer and water and public roads.
5. The proposed Planned Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities.
6. The proposed Planned Development project design does not detract from areas of natural beauty surrounding the site.
7. The proposed architecture and character of the proposed Planned Development project is compatible with adjacent/nearby development.
8. The proposed Planned Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.
9. The proposed Planned Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions modifications variation of any standard or regulation of this Title.

10. For Planned Development projects that are proposed to be developed in phases, the applicant can provide a timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

### III Process Checklist

- ☐ Pre-Application Conference Date: \_\_\_\_\_
- ☐ Plan Commission Optional Concept Plan Review Date: \_\_\_\_\_
- ☐ General Development Plan (*same process as zoning map amendment*)
  - ☐ Application fee of \$ 400 received by City Treasurer Date: \_\_\_\_\_
  - ☐ Reimbursement of professional consultant costs agreement executed. Date: \_\_\_\_\_
  - ☐ Receipt of GDP by Zoning Administrator Date: \_\_\_\_\_
  - ☐ Development Review Team Input Date: \_\_\_\_\_
  - ☐ Class 2 legal notice sent to official newspaper by City Clerk Date: \_\_\_\_\_
  - ☐ Class 2 legal notice published on \_\_\_\_\_ and \_\_\_\_\_ Date: \_\_\_\_\_
  - ☐ Notification of neighboring property owners within 100 feet of the petition Date: \_\_\_\_\_
  - ☐ Notification of clerks of municipalities within 1,000 feet of the petition Date: \_\_\_\_\_
  - ☐ Notification of airports within 3 miles of the petition Date: \_\_\_\_\_
  - ☐ Plan Commission Public Hearing, review and recommendation Date: \_\_\_\_\_
  - ☐ Common Council review and action Date: \_\_\_\_\_
- ☐ Specific Implementation Plan (*same process as site plan*)
  - ☐ Receipt of SIP by Zoning Administrator Date: \_\_\_\_\_
  - ☐ Development Review Team Input Date: \_\_\_\_\_
  - ☐ Zoning Administrator Report Date: \_\_\_\_\_
  - ☐ Plan Commission Public Meeting Date: \_\_\_\_\_
  - ☐ Plan Commission Review and Action Date: \_\_\_\_\_



## STAFF REPORT

**To:** Plan Commission  
**Prepared By:** Brad Lenz, City Planner  
**Date:** May 15, 2024

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### Specific Implementation Plan for Westside Commons (415 S. 1<sup>st</sup> Avenue)

The general development plan for the Westside Commons development at 415 S. 1<sup>st</sup> Avenue was previously approved (and amended) by Plan Commission and Common Council. The petitioners are now seeking approval of the specific implementation plan to complete their zoning approval for the project.

The four-story apartment building will contain a small amount of office space on the first floor. The 56 residential units vary in terms of bedroom makeup and income qualifications. Parking for tenants would be provided underground, as well as on a separate parcel across 1<sup>st</sup> Avenue. More information about the development can be found in the narrative provided by the petitioners.

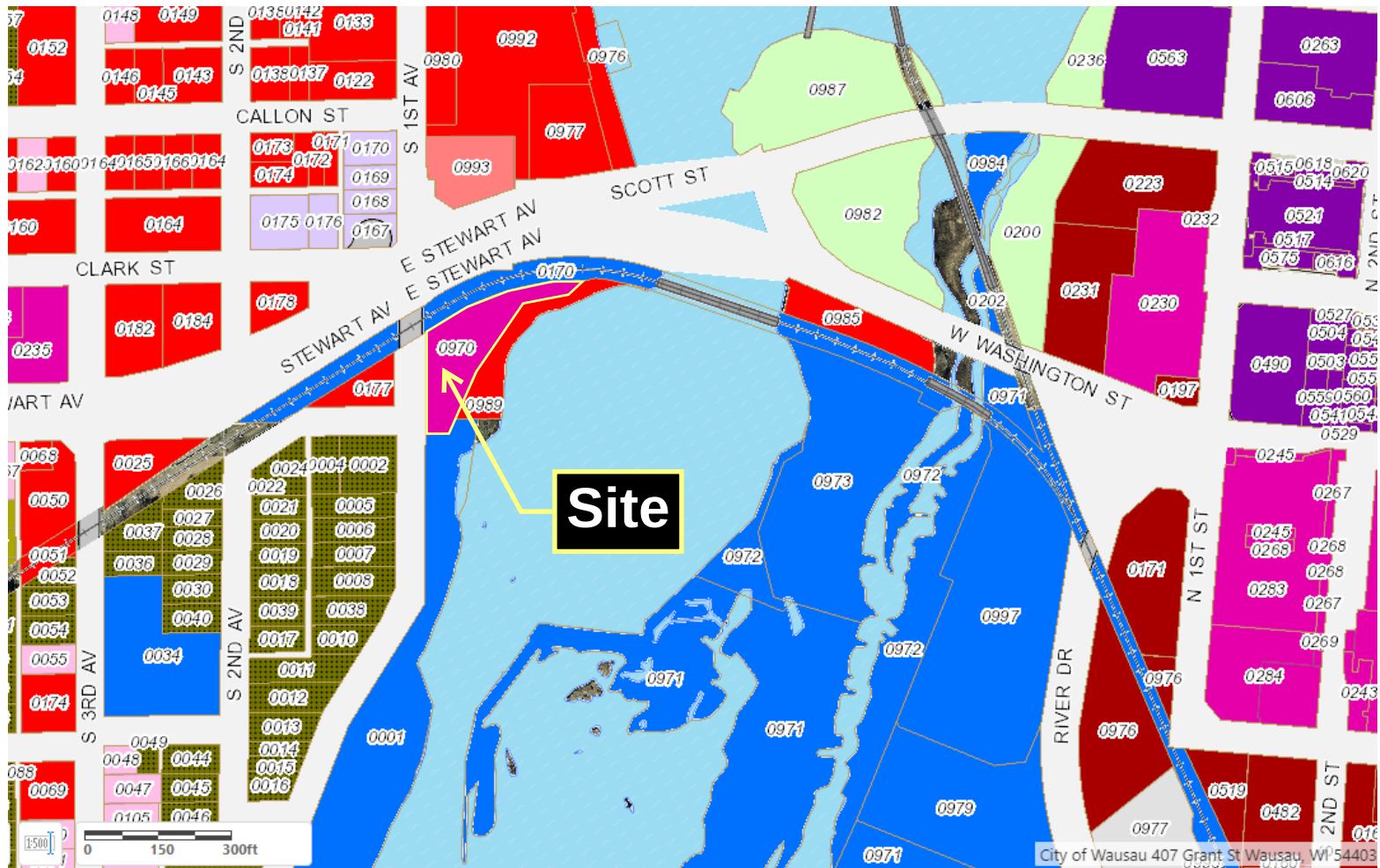
The site, which most recently contained Westside Battery, has unique challenges due to its size, shape and location along the railroad tracks and Wisconsin River. Because of the site constraints, the developers are seeking flexibility on a number of base zoning standards, mostly pertaining to setback distances. These exceptions are noted in the table starting on page 4 of the narrative. The site does not border any developable parcels of land; it does border wide rights-of-way and a strip of land owned by the utility along the river, which effectively provides a buffer to the river.

The package of plans submitted by the petitioner generally constitutes what would be required for a specific implementation plan. The contents of the plans are in line with base zoning standards, such as exterior building design and landscaping. As noted, however, the petitioners are seeking setback reductions due to site constraints.

A parking reduction is also being requested, with the parking lot across 1<sup>st</sup> Avenue at 414 S. 1<sup>st</sup> Avenue to be used as additional parking. The building would contain 53 underground parking spaces (for cars), with additional bicycle parking. A conditional use permit was granted for the proposed parking lot across the street; a permit application will need to be submitted through the Inspections Division that follows zoning standards for that parcel.

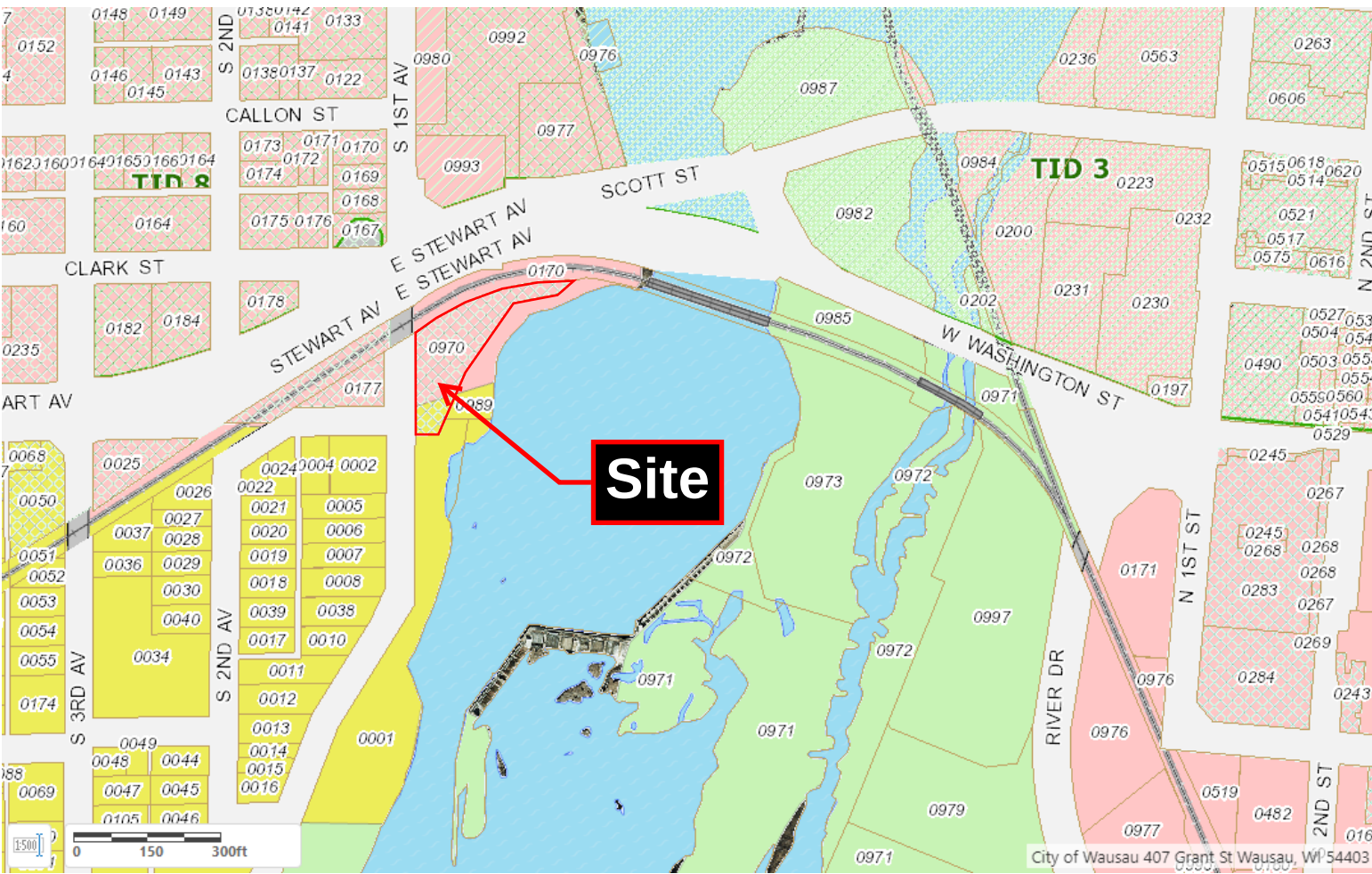
A signage plan is proposed to be submitted closer to the opening of the project. Staff recommends that signage follows the base zoning standards of the Urban Mixed Used (UMU) district. Lighting plans for the site should also be submitted for staff review.

# Attachment A: Current & Neighboring Zoning



|                                                                                   |                                   |                                                                                     |                                     |
|-----------------------------------------------------------------------------------|-----------------------------------|-------------------------------------------------------------------------------------|-------------------------------------|
|  | SR-2 - Single Family Residential  |  | UMU - Urban Mixed-Use               |
|  | SR-3 - Single Family Residential  |  | DPMU - Downtown Periphery Mixed-Use |
|  | SR-5 - Single Family Residential  |  | DHMU - Downtown Historic Mixed-Use  |
|  | SR-7 - Single Family Residential  |  | DRMU - Downtown High-Rise Mixed-Use |
|  | MH-7 - Mobile Home Residential    |  | LI - Light Industrial               |
|  | DR-8 - Duplex Residential         |  | MI - Medium Industrial              |
|  | TF-10 - Two-Flat Residential      |  | HI - Heavy Industrial               |
|  | TRD-12 - Townhome Residential     |  | IOS - Intensive Outdoor Storage     |
|  | MRL-12 - Multi-Family Residential |  | IOC - Intensive Outdoor Commercial  |
|  | MRM-20 - Multi-Family Residential |  | AO - Adult Oriented Entertainment   |
|  | MRH-50 - Multi-Family Residential |                                                                                     |                                     |
|  | PUD - Planned Unit Development    |                                                                                     |                                     |
|  | RH-35 - Rural Holding             |                                                                                     |                                     |
|  | I - Institutional                 |                                                                                     |                                     |
|  | NMU - Neighborhood Mixed-Use      |                                                                                     |                                     |
|  | SO - Suburban Office              |                                                                                     |                                     |
|  | SMU - Suburban Mixed Use          |                                                                                     |                                     |

# Attachment B: Future Land Use & Development Districts



Future Land Use

City Center

Legacy Industrial

Public / Open Space

Railroad

Suburban Commercial and Industry

Suburban Residential

Urban Residential

Development District

Business Improvement District (BID)

Tax Increment District (TID)

TID 3

TID 6

TID 7

TID 8

TID 9

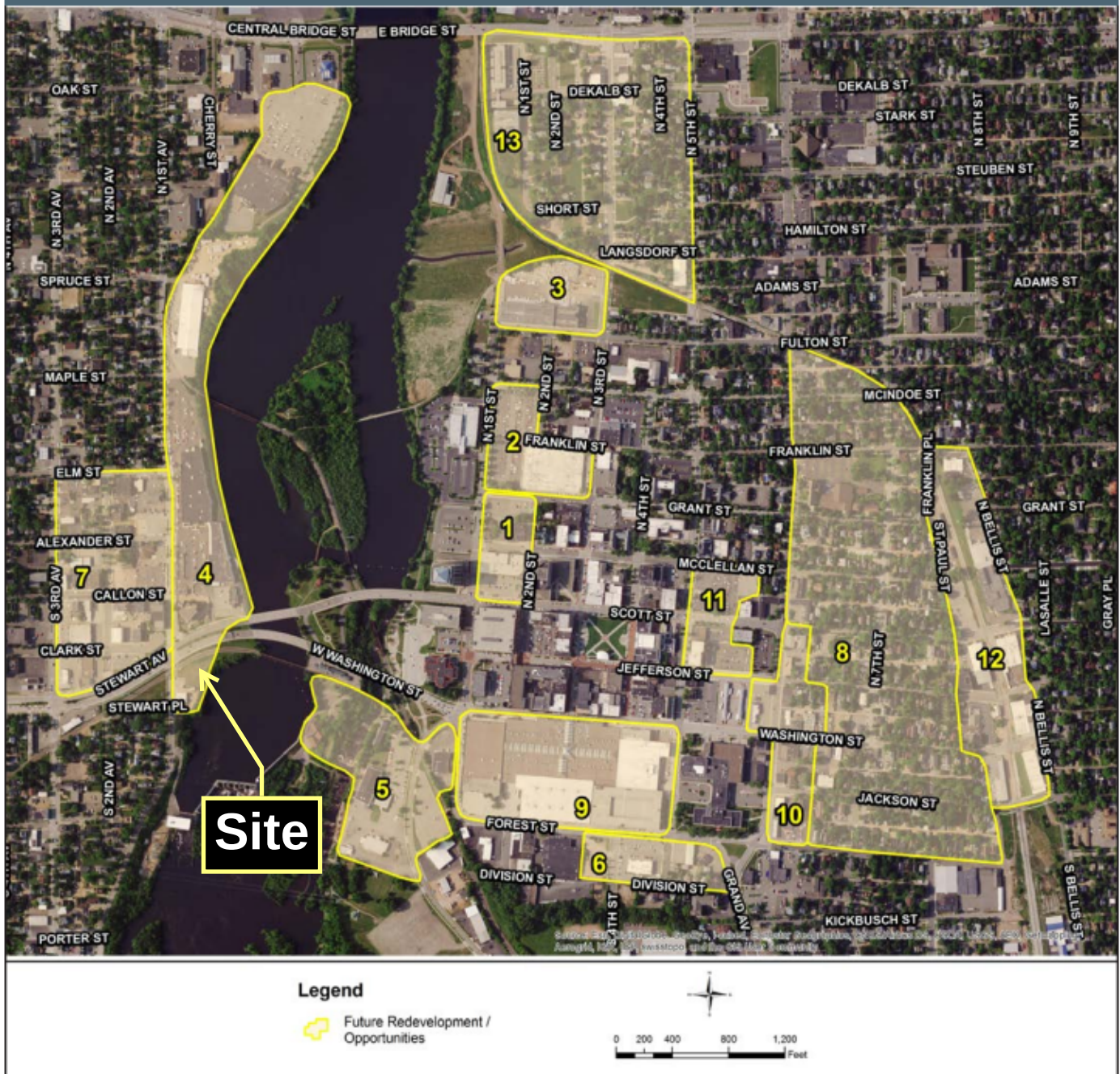
TID 10

TID 11

TID 12

# Attachment C: Comprehensive Plan Impacts

Figure 5: Downtown Redevelopment Sites



**Site 4:** Site 4 includes the entire riverfront on the west side from Pic N Save to the former LS Printing on the south side of Stewart. This site is currently occupied by Eastbay and light manufacturing use. The Pic n Save also includes a large parking lot that has the possibility of being redeveloped into a better use. During past public meetings on the west side residents have identified the potential for multifamily riverfront housing and mixed use opportunities.

## Comprehensive Plan Goals

Below is a review of the plan goals identified in each chapter of the Comprehensive Plan. These serve as an overall policy guide for the City of Wausau.

**Housing Goal:** The City of Wausau will continue to offer equal access to quality, affordable housing.





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A

B

C

D

GRADING AND EARTHWORK NOTES

1. ALL SITE PREP AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL REPORT PREPARED BY INTERTEK PSI, TITLED "GEOTECHNICAL ENGINEERING SERVICES REPORT, ISSUE DATE: 01-17-2022. ALL REFERENCES TO THE "GEOTECHNICAL REPORT" SHALL BE UNDERSTOOD AS THE AFOREMENTIONED REPORT.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
4. ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
5. CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
6. ALL RETAINING WALLS ABOVE 42" IN HEIGHT SHALL HAVE FALL PROTECTION. TYPE OF FALL PROTECTION SHALL BE DETERMINED BY ARCHITECT / CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL CODES.
7. PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
8. CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
9. CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
10. PRIOR TO PLACEMENT OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
11. SOIL MATERIAL SPECIFICATIONS:

11.1. FILL AND BACKFILL MATERIALS

11.1.1. MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE, PER THE GEOTECHNICAL REPORT. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.

11.2. IMPORTED FILL MATERIAL

11.2.1. MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6".

11.3. GRANULAR FILL

11.3.1. MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.

11.4. BUILDING STRUCTURAL FILL

11.4.1. CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2 OF THE STATE HIGHWAY SPECIFICATIONS AND GEOTECHNICAL REPORT .
- EROSION CONTROL NOTES
1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS.

2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.

3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.

4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.

6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5". ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.

7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.

8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE. VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.

9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLETS OF ALL INSTALLED STORM SEWER. STONE DITCH CHECKS/ FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.

10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".

11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATting SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

12.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

12.2. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

12.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDNR DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.

13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS OR APPLICATION OF A WSDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN SEVEN (7) DAYS OF READING FINAL GRADES. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.

14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.

15. A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ONSITE. CONTRACTOR SHALL USE PRE-MANUFACTURED ABOVE GROUND WASHOUT TOTE OR EQUIVALENT CONTAINMENT AREA FOR ALL CONCRETE WASTE. CONCRETE WASTE SHALL ONLY BE CONTAINED IN ABOVE GROUND PRE-FABRICATED CONTAINERS OR CONSTRUCTED CONTAINMENT AREA AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FREQUENTLY DISPOSE OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS TO MAINTAIN THE SYSTEMS EFFECTIVENESS.

16. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:

16.1. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.

16.2. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E., THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAY). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.

16.3. STABILIZATION MEASURES SHALL BE DETERMINED BASED ONSITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:

16.3.1. PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION

16.3.2. TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS./ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS./ACRE) IN FALL

16.3.3. HYDRO-MULCHING WITH A TACKIFIER

16.3.4. WOVEN AND NON-WOVEN GEOTEXTILES

16.3.5. EROSION MATTING

16.3.6. SODDING

16.3.7. OTHER MEASURES AS APPROVED BY THE ENGINEER
17. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
18. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS.



Sheet No.  
**C002**

GENERAL NOTES

Sheet Title

BID SET

Approved by: JLF

Checked by: PMP

Drawn by: KJM

Plot Date: 04/15/2024

Project No. 2000-0126

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.04.15 | Δ1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

Consultant



OREGON, WI 53575

Seal

CORPORATE OFFICE

200 N. MAIN STREET



1

2

3

4

5

1

2

3

4

5



Issue Dates:

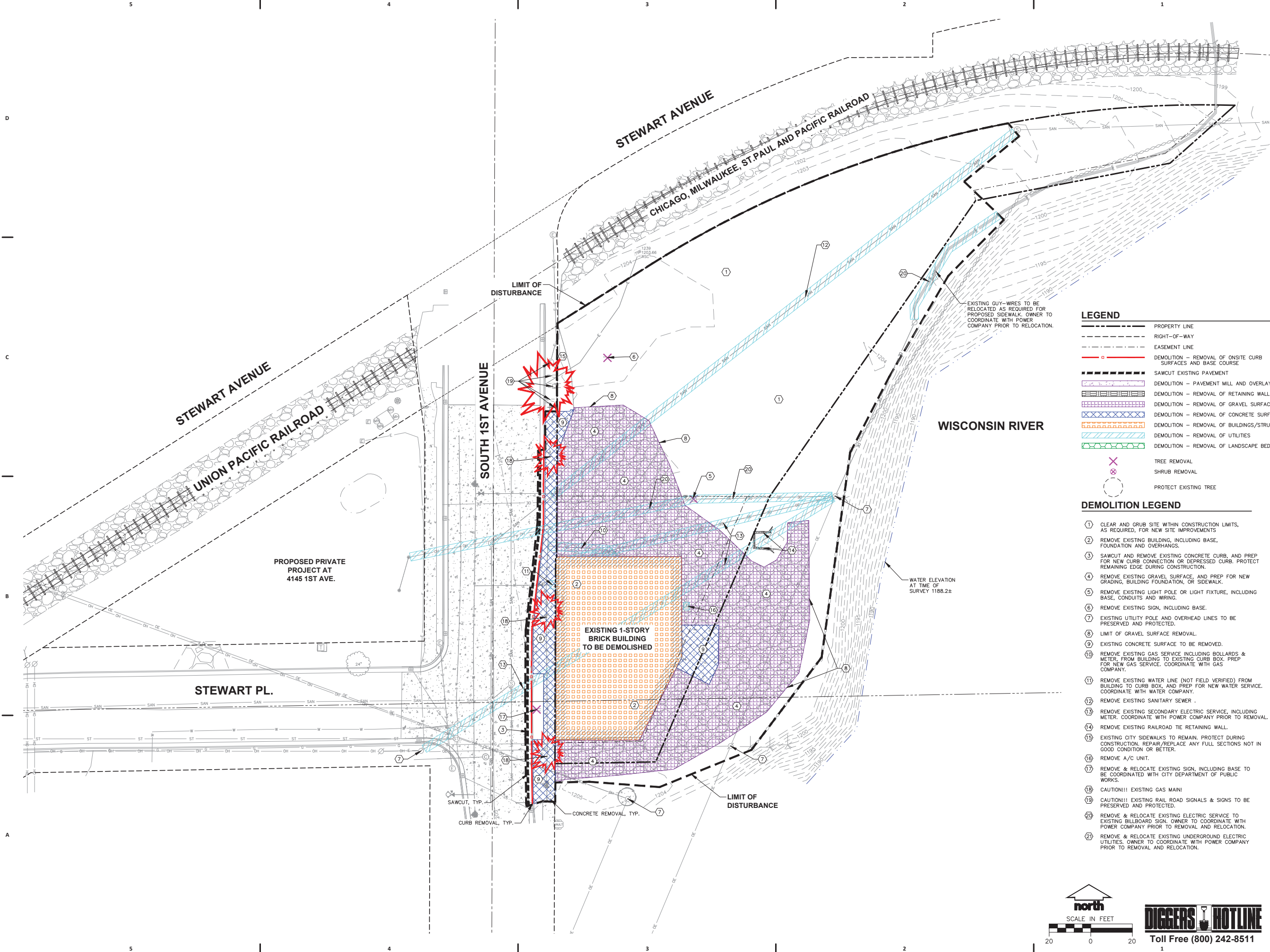
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| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

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| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

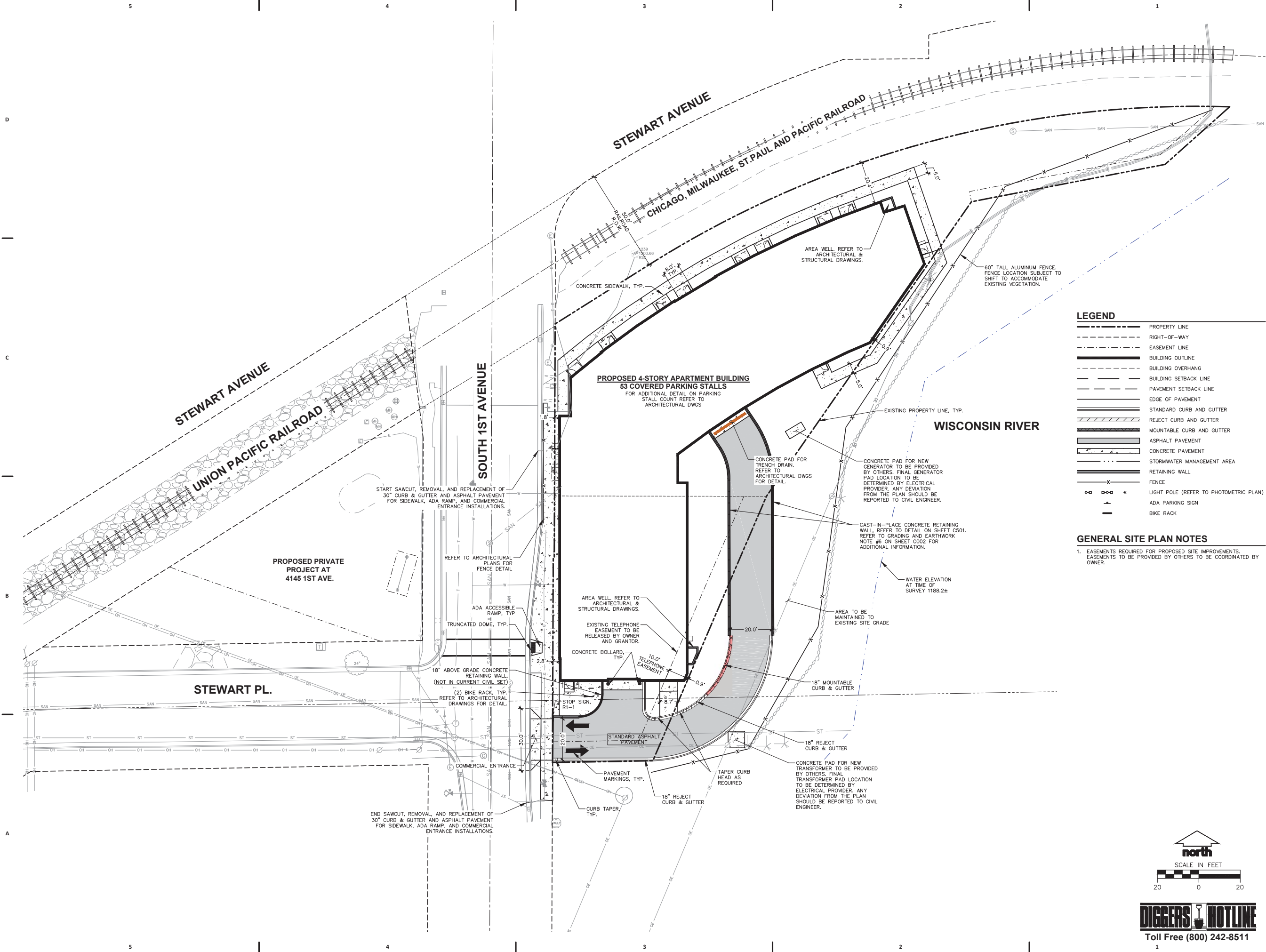
Sheet Title

DEMOLITION PLAN

Sheet No.  
C100



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**Issue Dates:**

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| 2024.04.15 | Δ1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

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|--------------|------------|
| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

**Sheet Title**  
SITE PLAN

**Sheet No.**  
**C200**



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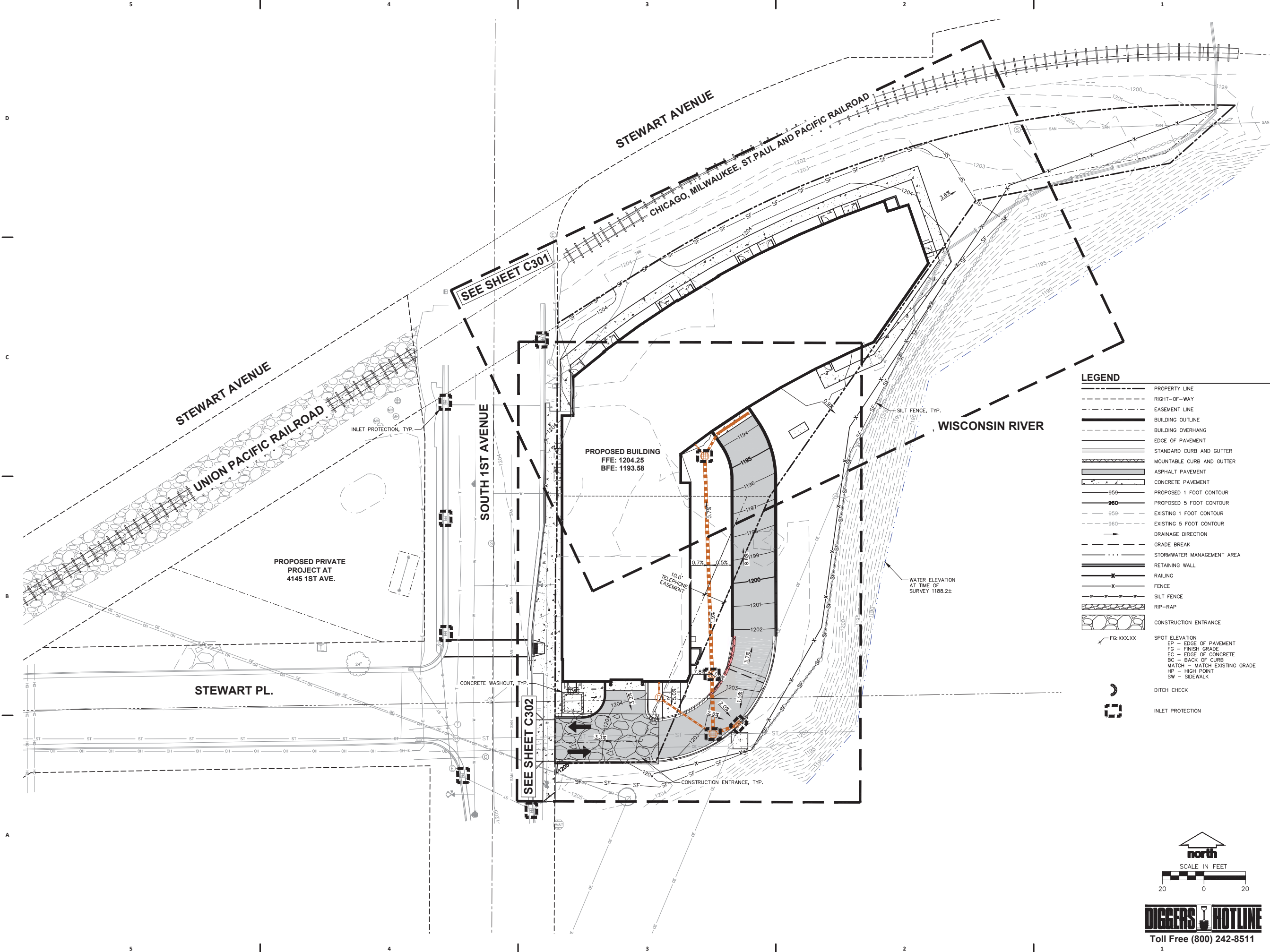
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| 2024.05.07 | SIP SUBMITTAL SET    |

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|--------------|------------|
| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

Sheet Title

OVERALL GRADING &  
EROSION CONTROL PLAN

Sheet No.  
C300



Issue Dates:

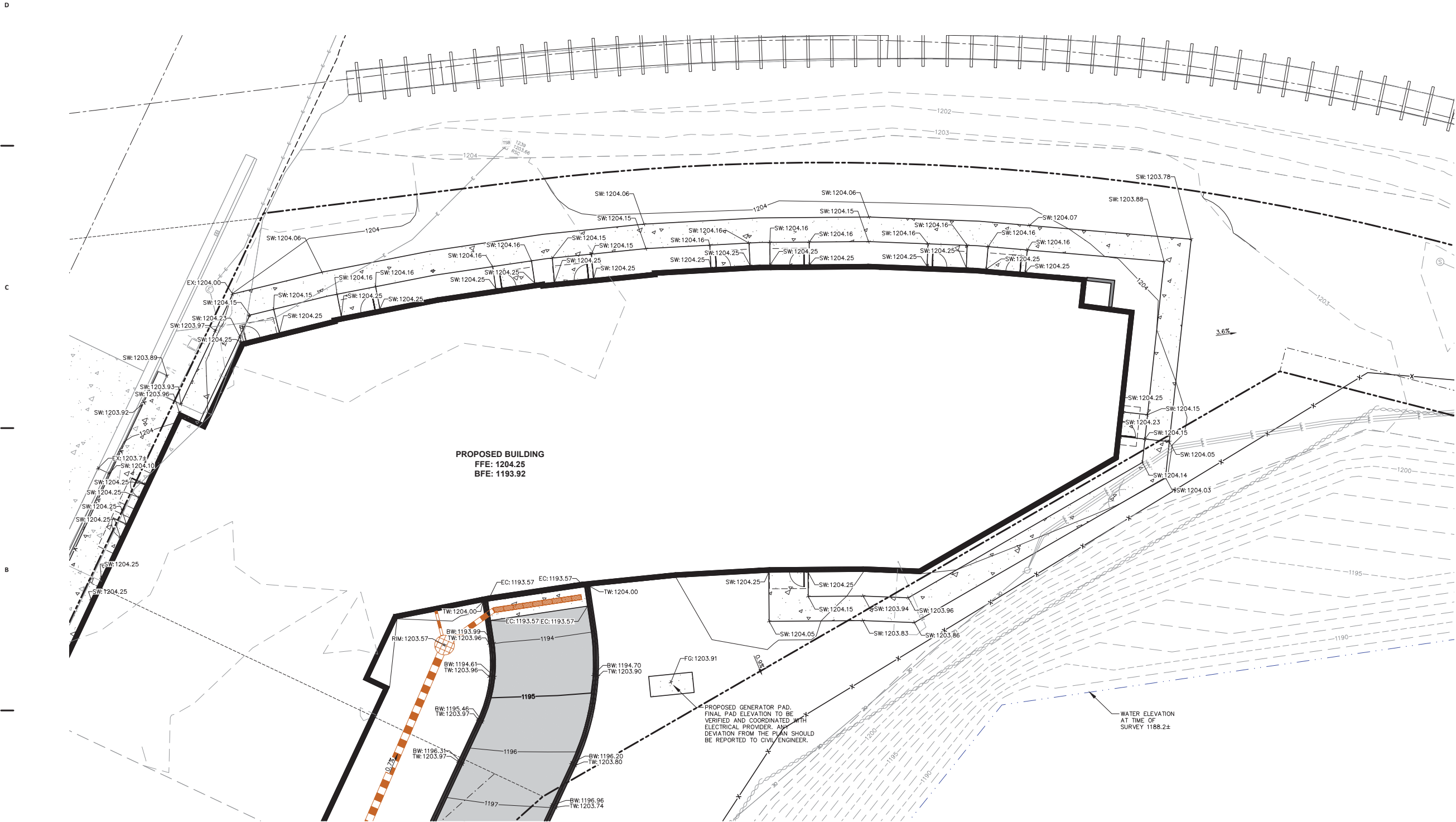
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| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

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|--------------|------------|
| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

Sheet Title

DETAILED GRADING  
PLAN

Sheet No.  
C301



CORPORATE OFFICE  
200 N. MAIN STREET  
OREGON, WI 53575  
Seal

Consultant



WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

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|--------------|------------|
| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

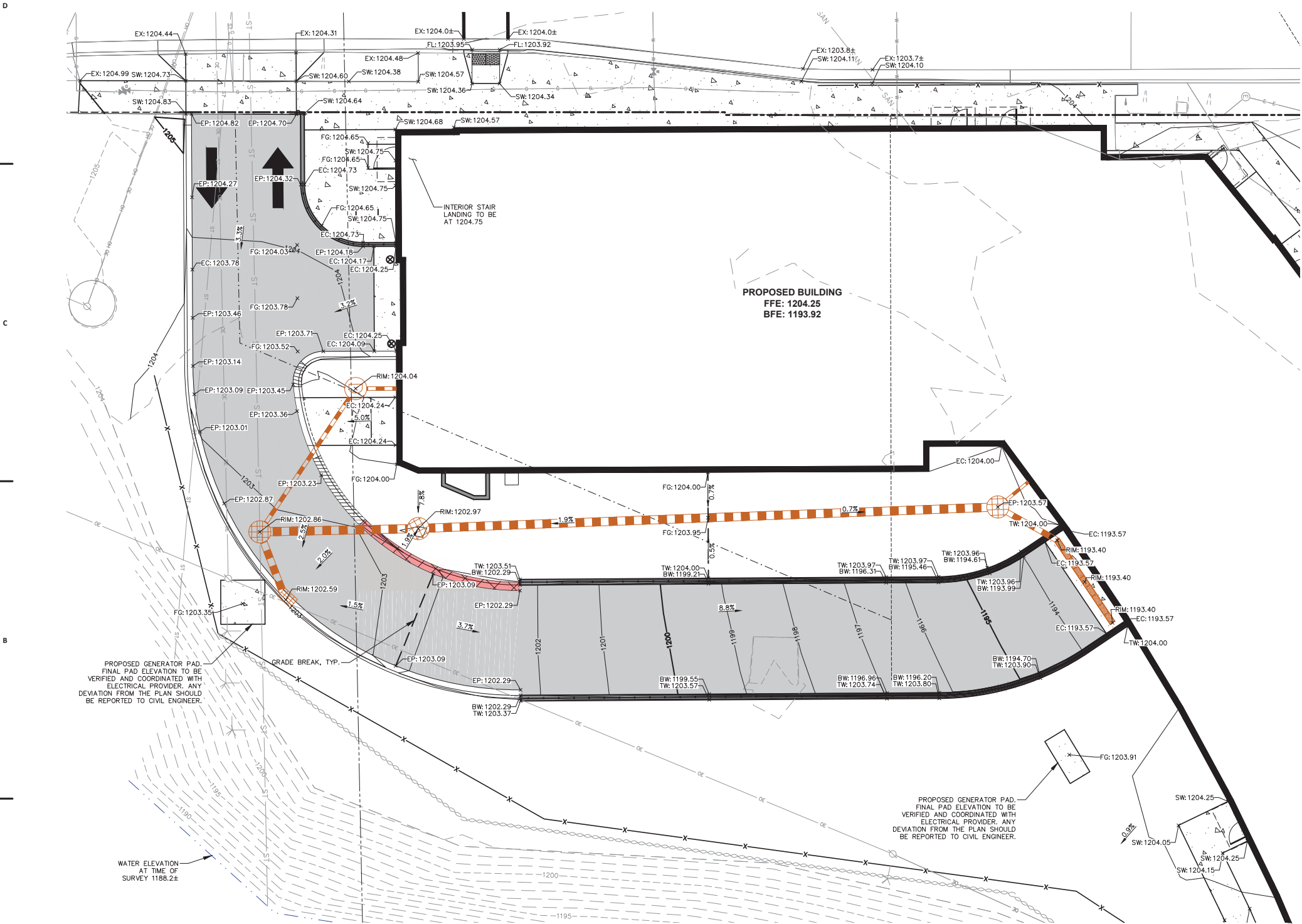
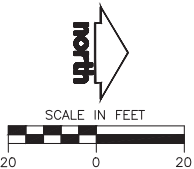
Sheet Title

DETAILED GRADING  
PLAN

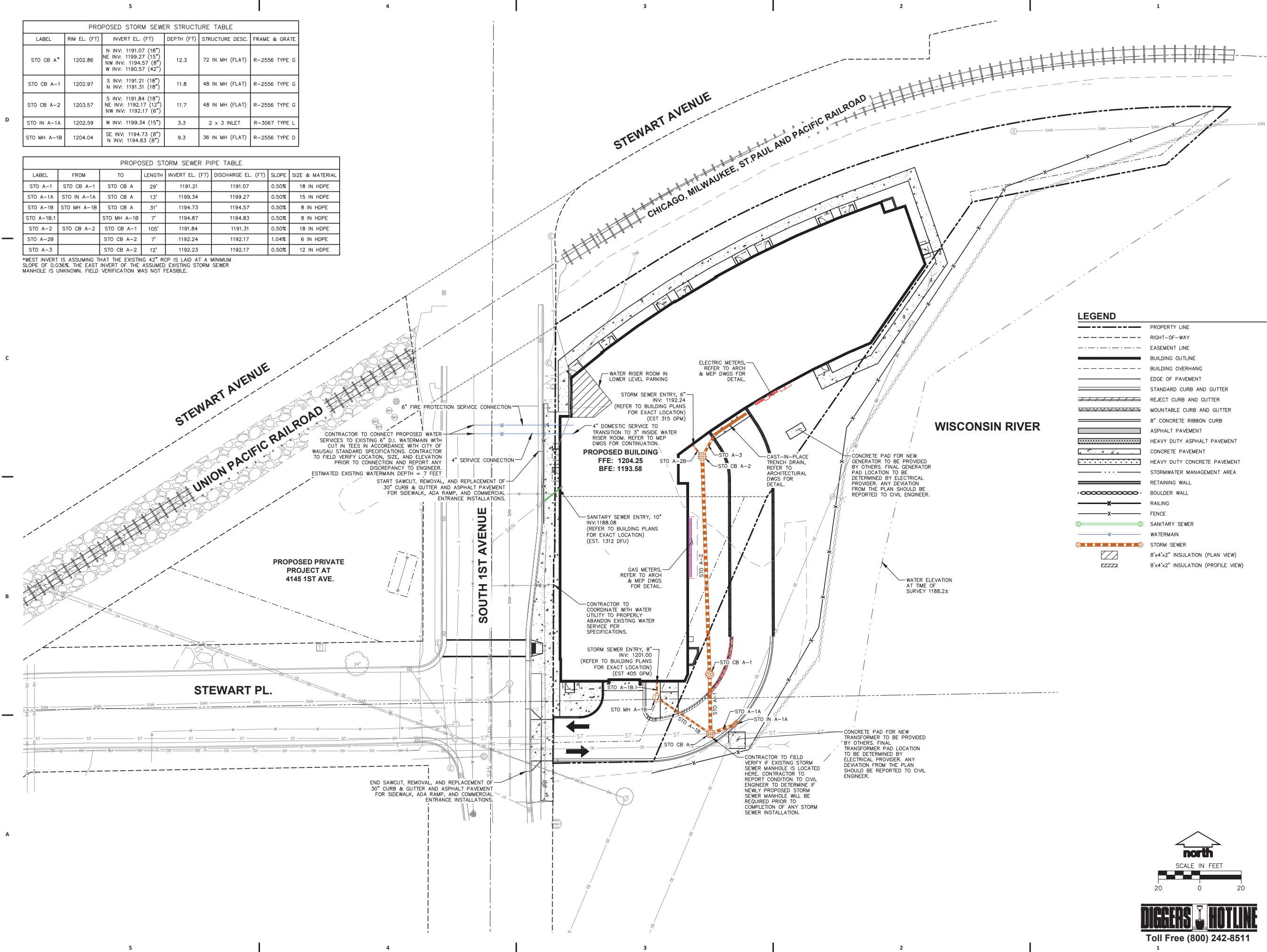
Sheet No.  
C302

LEGEND

|  |                              |
|--|------------------------------|
|  | PROPERTY LINE                |
|  | RIGHT-OF-WAY                 |
|  | EASEMENT LINE                |
|  | BUILDING OUTLINE             |
|  | BUILDING OVERHANG            |
|  | EDGE OF PAVEMENT             |
|  | STANDARD CURB AND GUTTER     |
|  | MOUNTABLE CURB AND GUTTER    |
|  | ASPHALT PAVEMENT             |
|  | CONCRETE PAVEMENT            |
|  | PROPOSED 1 FOOT CONTOUR      |
|  | PROPOSED 5 FOOT CONTOUR      |
|  | EXISTING 1 FOOT CONTOUR      |
|  | EXISTING 5 FOOT CONTOUR      |
|  | DRAINAGE DIRECTION           |
|  | GRADE BREAK                  |
|  | STORMWATER MANAGEMENT AREA   |
|  | RETAINING WALL               |
|  | RAILING                      |
|  | FENCE                        |
|  | SILT FENCE                   |
|  | RIP-RAP                      |
|  | CONSTRUCTION ENTRANCE        |
|  | SPOT ELEVATION               |
|  | EP - EDGE OF PAVEMENT        |
|  | FG - FINISH GRADE            |
|  | EC - EDGE OF CONCRETE        |
|  | BOC - BACK OF CURB           |
|  | MATCH - MATCH EXISTING GRADE |
|  | HP - HIGH POINT              |
|  | SW - SIDEWALK                |
|  | DITCH CHECK                  |
|  | INLET PROTECTION             |



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| PROPOSED STORM SEWER STRUCTURE TABLE |              |                                                                                               |            |                 |               |
|--------------------------------------|--------------|-----------------------------------------------------------------------------------------------|------------|-----------------|---------------|
| LABEL                                | RIM EL. (FT) | INVERT EL. (FT)                                                                               | DEPTH (FT) | STRUCTURE DESC. | FRAME & GRATE |
| STO CB A*                            | 1202.86      | N INV: 1191.07 (18")<br>NE INV: 1199.27 (15")<br>NW INV: 1194.57 (8")<br>W INV: 1190.57 (42") | 12.3       | 72 IN MH (FLAT) | R-2556 TYPE G |
| STO CB A-1                           | 1202.97      | S INV: 1191.21 (18")<br>N INV: 1191.31 (18")                                                  | 11.8       | 48 IN MH (FLAT) | R-2556 TYPE G |
| STO CB A-2                           | 1203.57      | S INV: 1191.84 (18")<br>NE INV: 1192.17 (12")<br>NW INV: 1192.17 (6")                         | 11.7       | 48 IN MH (FLAT) | R-2556 TYPE G |
| STO IN A-1A                          | 1202.59      | W INV: 1199.34 (15")                                                                          | 3.3        | 2 x 3 INLET     | R-3067 TYPE L |
| STO MH A-1B                          | 1204.04      | SE INV: 1194.73 (8")<br>N INV: 1194.83 (8")                                                   | 9.3        | 36 IN MH (FLAT) | R-2556 TYPE D |

| PROPOSED STORM SEWER PIPE TABLE |             |             |        |                 |                    |       |                 |
|---------------------------------|-------------|-------------|--------|-----------------|--------------------|-------|-----------------|
| LABEL                           | FROM        | TO          | LENGTH | INVERT EL. (FT) | DISCHARGE EL. (FT) | SLOPE | SIZE & MATERIAL |
| STO A-1                         | STO CB A-1  | STO CB A    | 29'    | 1191.21         | 1191.07            | 0.50% | 18 IN HDPE      |
| STO A-1A                        | STO IN A-1A | STO CB A    | 13'    | 1199.34         | 1199.27            | 0.50% | 15 IN HDPE      |
| STO A-1B                        | STO MH A-1B | STO CB A    | 31'    | 1194.73         | 1194.57            | 0.50% | 8 IN HDPE       |
| STO A-1B.1                      |             | STO MH A-1B | 7'     | 1194.87         | 1194.83            | 0.50% | 8 IN HDPE       |
| STO A-2                         | STO CB A-2  | STO CB A-1  | 105'   | 1191.84         | 1191.31            | 0.50% | 18 IN HDPE      |
| STO A-2B                        |             | STO CB A-2  | 7'     | 1192.24         | 1192.17            | 1.04% | 6 IN HDPE       |
| STO A-3                         |             | STO CB A-2  | 12'    | 1192.23         | 1192.17            | 0.50% | 12 IN HDPE      |

\*WEST INVERT IS ASSUMING THAT THE EXISTING 42" RCP IS LAID AT A MINIMUM SLOPE OF 0.036%. THE EAST INVERT OF THE ASSUMED EXISTING STORM SEWER MANHOLE IS UNKNOWN. FIELD VERIFICATION WAS NOT FEASIBLE.

Consultant

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

Project No. 2000-0126

Plot Date: 04/15/2024

Drawn by: KJM

Checked by: PMP

Approved by: JLF

BID SET

Sheet Title

UTILITY PLAN

Sheet No.

C400



Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
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Project No. 2000-0126

Plot Date: 04/15/2024

Drawn by: KJM

Checked by: PMP

Approved by: JLF

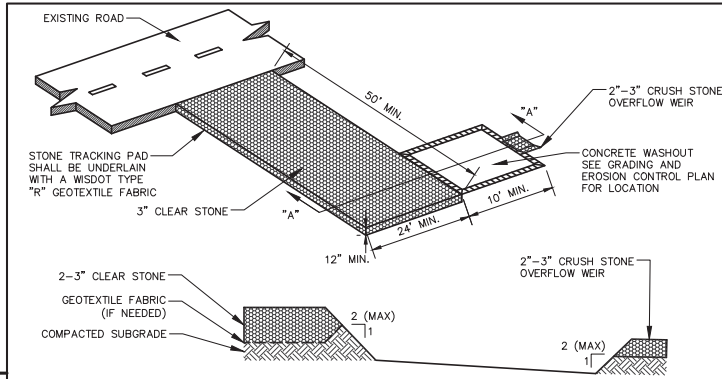
BID SET

Sheet Title

CONSTRUCTION DETAILS

Sheet No.

C500



NOTE:  
CONTRACTOR TO VERIFY LOCATION WITH OWNER.

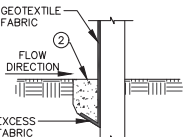
CONSTRUCTION ENTRANCE & CONCRETE WASHOUT

REV. 12-10-2018

N.T.S.



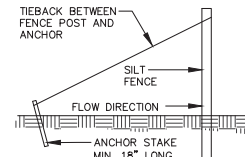
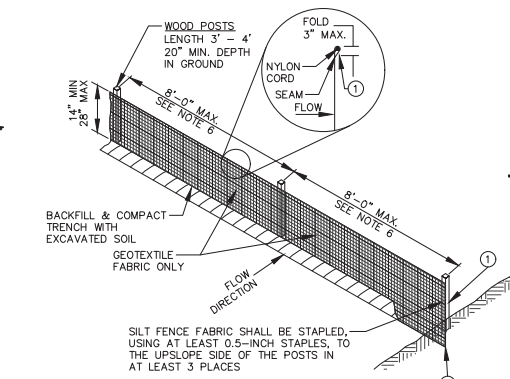
SILT FENCE ALONG SLOPES & OUTFALLS



NOTE:  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL

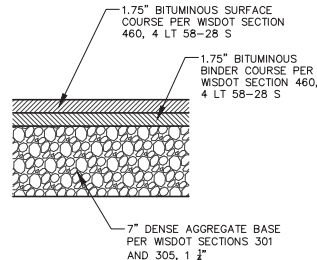
REV. 7-01-2019



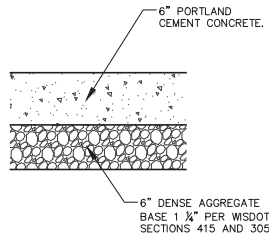
SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)

SILT FENCE

N.T.S.



STANDARD ASPHALT PAVEMENT SECTION



STANDARD CONCRETE PAVEMENT SECTION

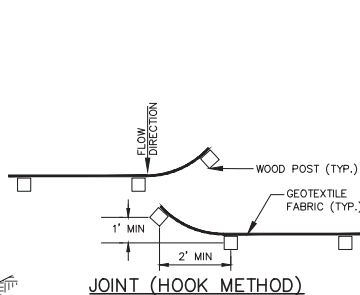
GENERAL NOTES:

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY INTERTEK PSI TITLED "GEOTECHNICAL ENGINEERING SERVICES REPORT" DATED 01-17-2022. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
  - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
  - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

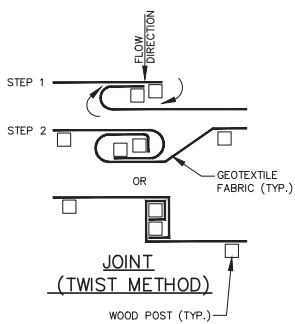
PAVEMENT SECTIONS

REV. 7-01-2019

N.T.S.



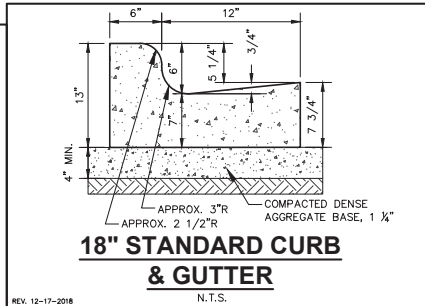
JOINT (HOOK METHOD)



JOINT (TWIST METHOD)

GENERAL NOTES:

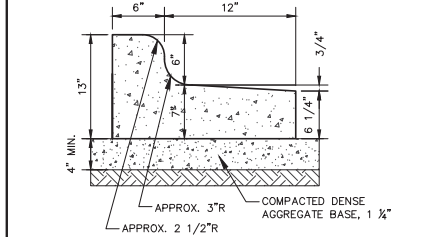
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)



18" STANDARD CURB & GUTTER

REV. 12-17-2018

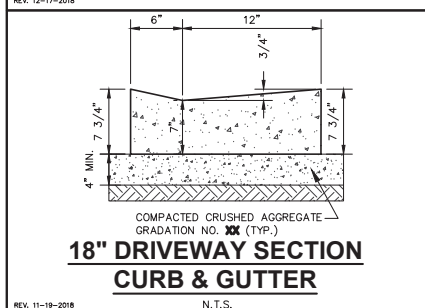
N.T.S.



18" REJECT CURB & GUTTER

REV. 12-17-2018

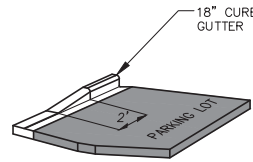
N.T.S.



18" DRIVEWAY SECTION CURB & GUTTER

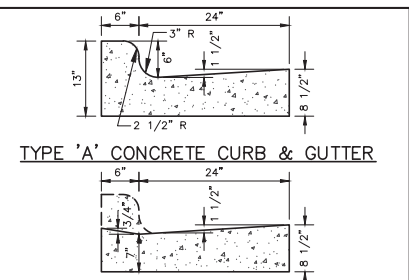
REV. 11-10-2018

N.T.S.



CURB TAPER

N.T.S.



TYPE 'A' CONCRETE CURB & GUTTER

DRIVEWAY SECTION TYPE 'A' CONCRETE CURB & GUTTER

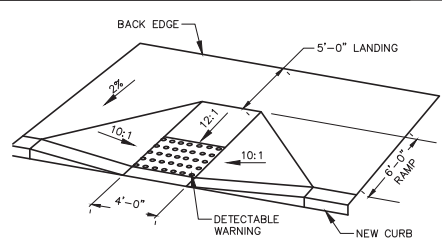
GENERAL NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

30" DRIVEWAY SECTION CURB & GUTTER

REV. 11-20-2018

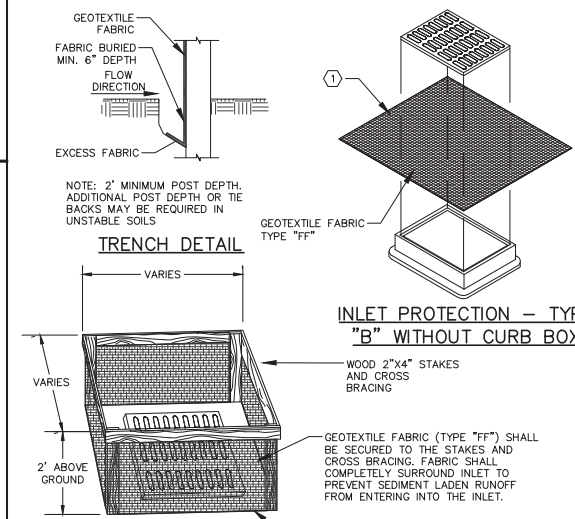
N.T.S.



ADA ACCESSIBLE RAMP - FLUSH

REV. 11-20-2018

N.T.S.



INLET PROTECTION - TYPE "A"

REV. 11-19-2018

N.T.S.

GENERAL NOTES:

- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF THE INLET.
  - FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

INSTALLATION NOTES:

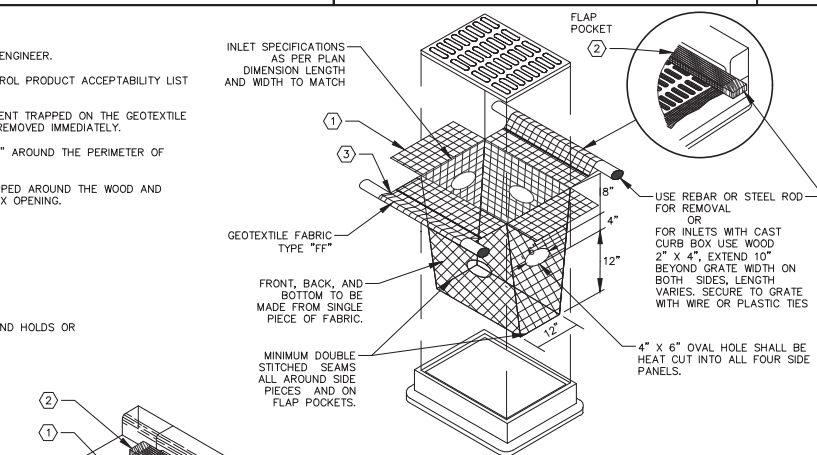
- TYPE "B" & "C"
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

INSTALLATION NOTES:

- TYPE "D"
- DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

INLET PROTECTION

N.T.S.



INLET PROTECTION - TYPE "D"

INLET PROTECTION - TYPE "C" WITH CURB BOX

N.T.S.

Issue Dates:

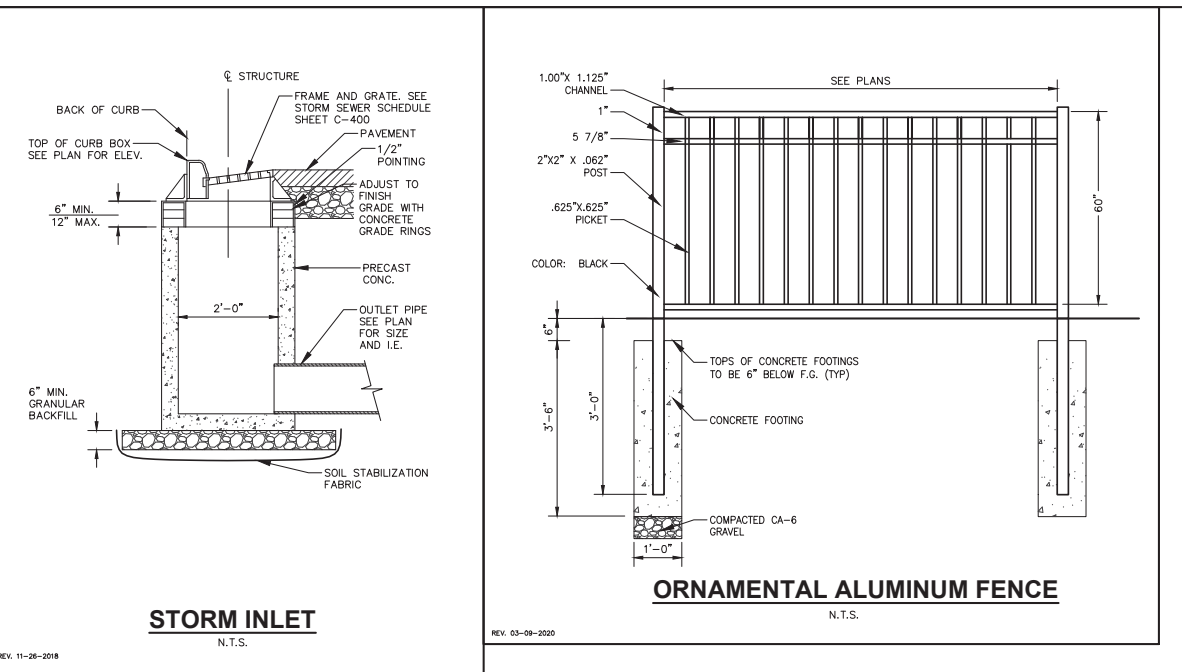
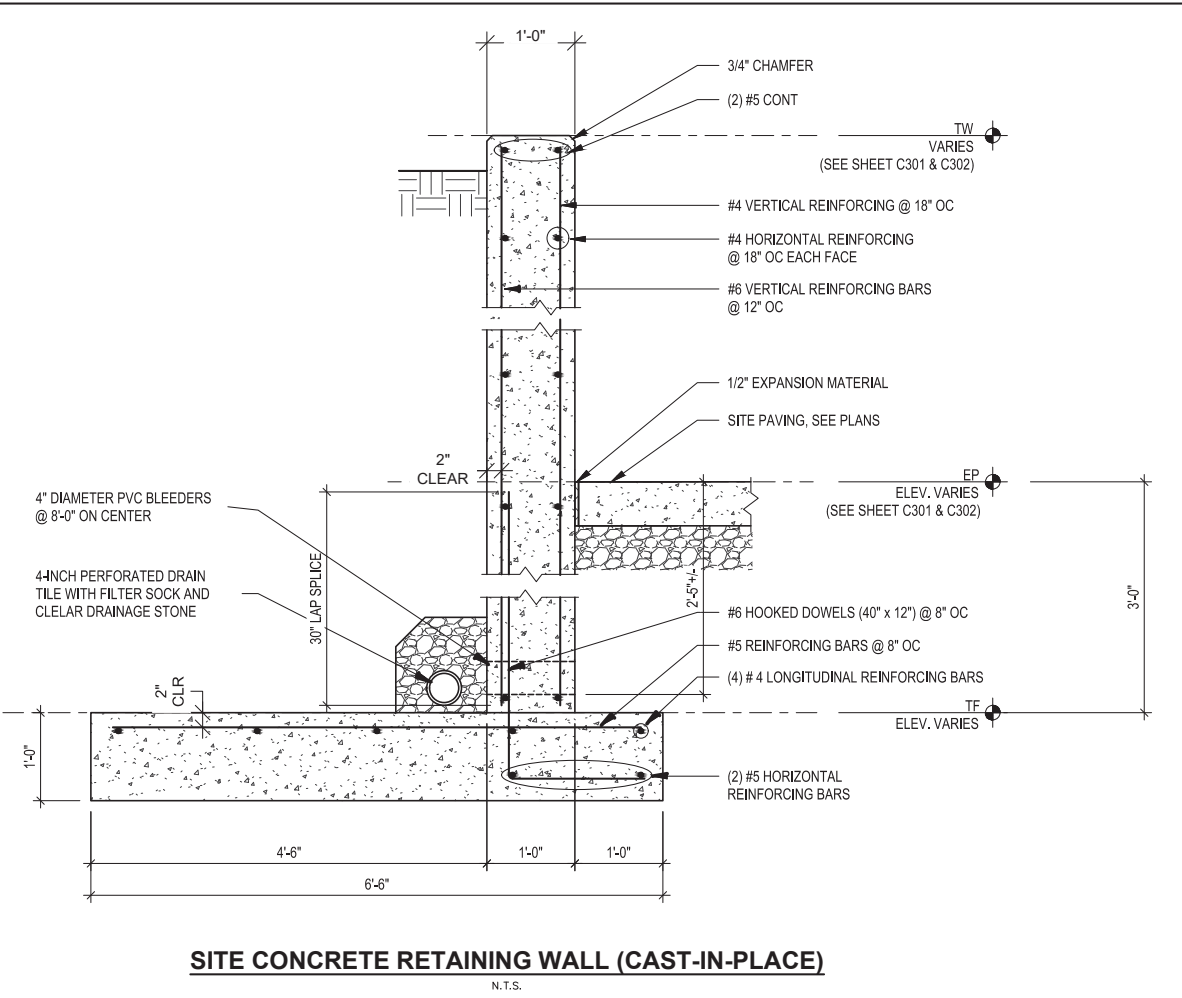
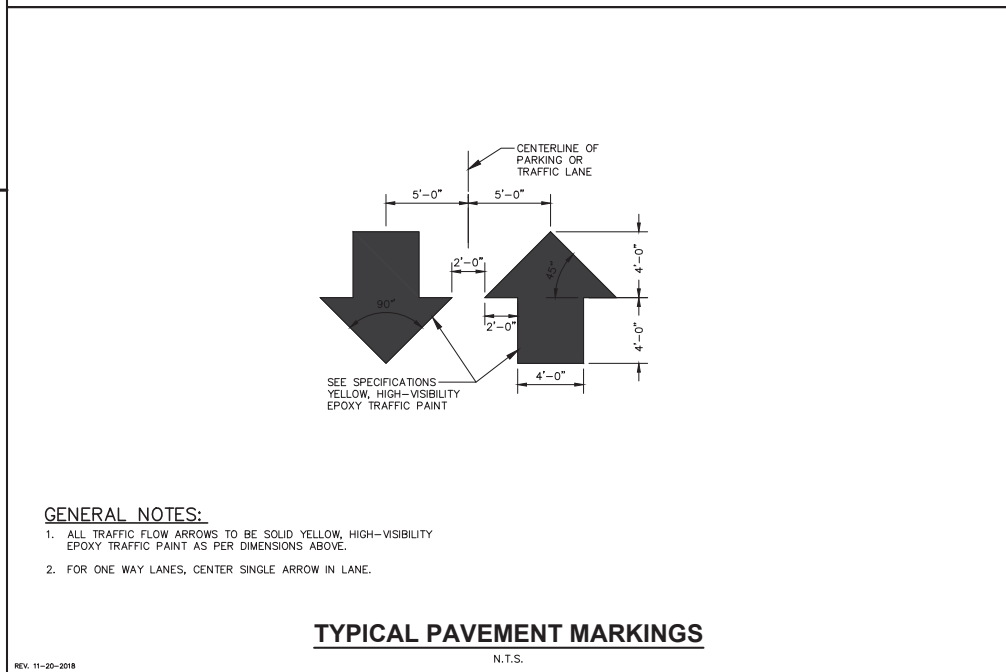
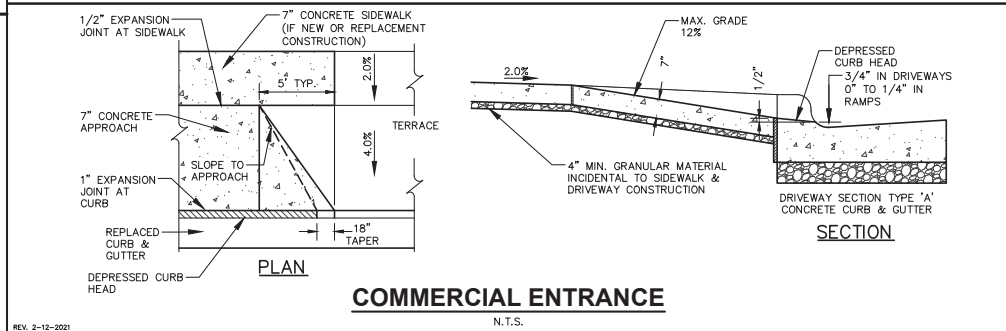
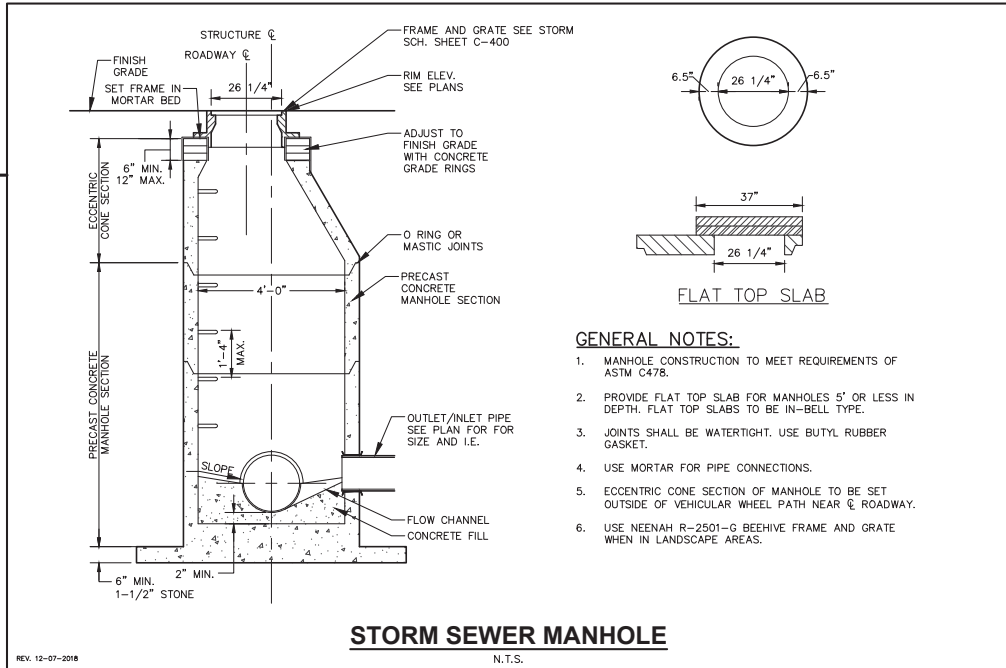
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| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

|              |            |
|--------------|------------|
| Project No.  | 2000-0126  |
| Plot Date:   | 04/15/2024 |
| Drawn by:    | KJM        |
| Checked by:  | PMP        |
| Approved by: | JLF        |
| BID SET      |            |

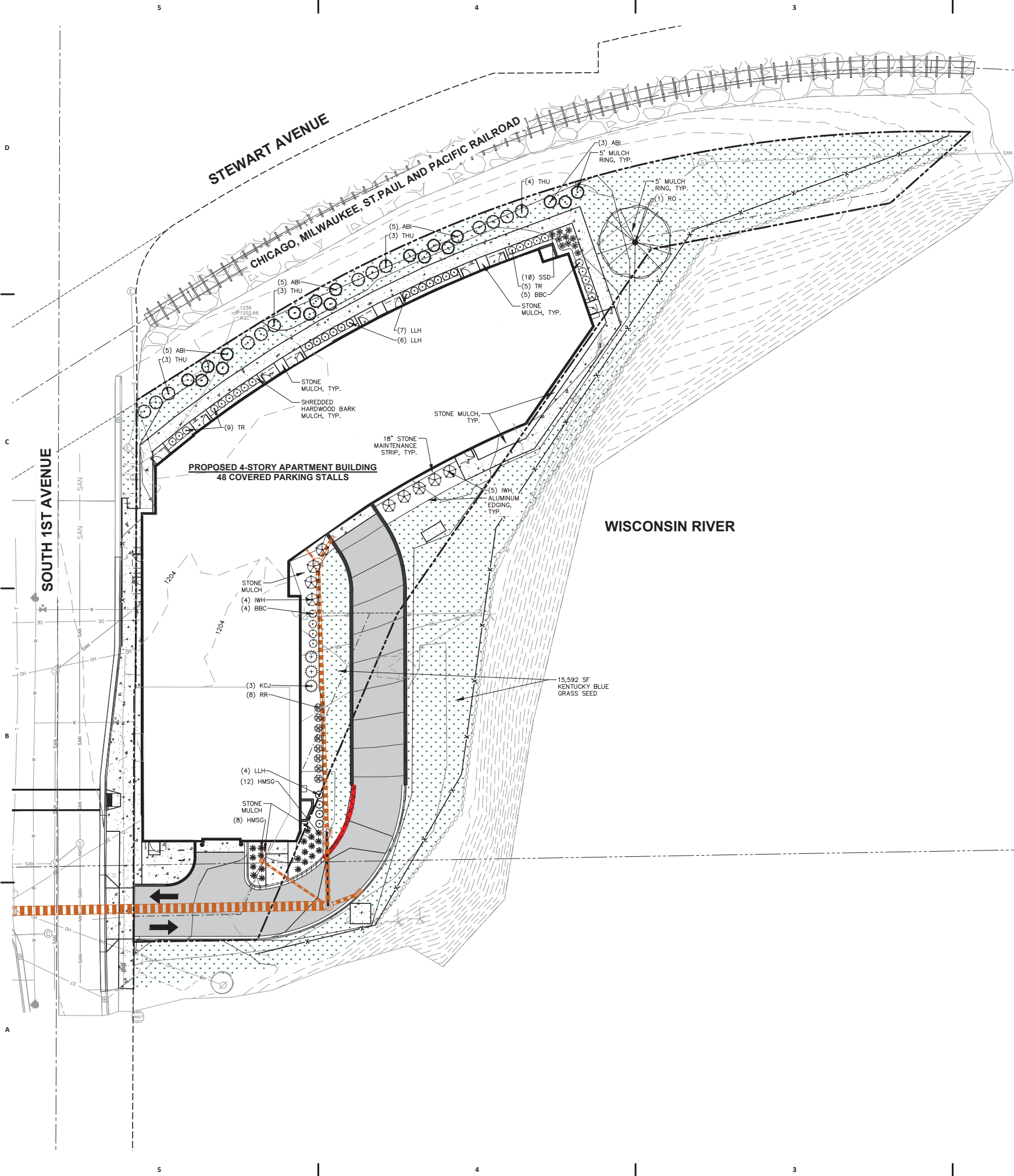
Sheet Title

CONSTRUCTION DETAILS

Sheet No.  
C501



File: N:\PROJECTS\2024\12111096\DWG\Landscape Sheets\2111096 Landscape Plan User: mammal Plotted: May 07, 2024 - 12:56pm Xref's:



#### LEGEND

|     |                                                 |
|-----|-------------------------------------------------|
| --- | PROPERTY LINE                                   |
| --- | RIGHT-OF-WAY                                    |
| --- | EASEMENT LINE                                   |
| --- | BUILDING OUTLINE                                |
| --- | BUILDING OVERHANG                               |
| --- | BUILDING SETBACK LINE                           |
| --- | PAVEMENT SETBACK LINE                           |
| --- | EDGE OF PAVEMENT                                |
| --- | STANDARD CURB AND GUTTER                        |
| --- | REJECT CURB AND GUTTER                          |
| --- | MOUNTABLE CURB AND GUTTER                       |
| --- | 8" CONCRETE RIBBON CURB                         |
| --- | ASPHALT PAVEMENT                                |
| --- | HEAVY DUTY ASPHALT PAVEMENT                     |
| --- | CONCRETE PAVEMENT                               |
| --- | HEAVY DUTY CONCRETE PAVEMENT                    |
| --- | STORMWATER MANAGEMENT AREA                      |
| --- | RETAINING WALL                                  |
| --- | BOULDER WALL                                    |
| --- | RAILING                                         |
| --- | FENCE                                           |
| --- | LIGHT POLE (REFER TO PHOTOMETRIC PLAN)          |
| --- | ADA PARKING SIGN                                |
| --- | FLAG POLE                                       |
| --- | BOLLARD                                         |
| --- | BOLLARD WITH ADA PARKING SIGN                   |
| --- | BIKE RACK                                       |
| --- | ALUMINUM EDGING                                 |
| --- | KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH |
| --- | STONE MULCH                                     |

#### PLANT SCHEDULE

| SYMBOL               | CODE | BOTANICAL / COMMON NAME                                                       | CONT  | SIZE    | QTY |
|----------------------|------|-------------------------------------------------------------------------------|-------|---------|-----|
| DECIDUOUS TREES      |      |                                                                               |       |         |     |
|                      | RO   | <i>Quercus rubra</i> / Red Oak                                                | B & B | 2" Cal  | 1   |
| EVERGREEN TREES      |      |                                                                               |       |         |     |
|                      | ABI  | <i>Abies concolor</i> 'Conica' / Conical White Fir                            | B & B | 6' Tall | 18  |
|                      | THU  | <i>Thuja occidentalis</i> 'American Pillar' / American Pillar Arborvitae      | B & B | 6' Tall | 13  |
| DECIDUOUS SHRUBS     |      |                                                                               |       |         |     |
|                      | BBC  | <i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry      | Cont. | #3      | 9   |
|                      | IWH  | <i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea      | Cont. | #3      | 9   |
|                      | LLH  | <i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea             | Cont. | #3      | 17  |
|                      | RR   | <i>Rhamnus frangula</i> 'Ron Williams' / Fine Line® Alder Buckthorn           | B & B | 36" Ht. | 8   |
| EVERGREEN SHRUBS     |      |                                                                               |       |         |     |
|                      | KCJ  | <i>Juniperus chinensis</i> 'Kallays Compact' / Kallay Compact Pfitzer Juniper | Cont. | #5      | 3   |
|                      | TR   | <i>Taxus brevifolia</i> 'Nana' / Dwarf Yew                                    | Cont. | #5      | 14  |
| PERENNIALS & GRASSES |      |                                                                               |       |         |     |
|                      | SSD  | <i>Hemerocallis</i> x 'Stella D'Oro' / Stella D'Oro Daylily                   | Cont. | #1      | 10  |
|                      | HMSG | <i>Panicum virgatum</i> 'Heavy Metal' / Heavy Metal Switch Grass              | Cont. | #1      | 20  |

#### GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

Seal

Consultant

#### Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.04.15 | A1 - BID SET         |
| 2024.05.07 | SIP SUBMITTAL SET    |

Project No. 2000-0126

Plot Date: 04/15/2024

Drawn by: KJM

Checked by: PMP

Approved by: JLF

BID SET

#### Sheet Title

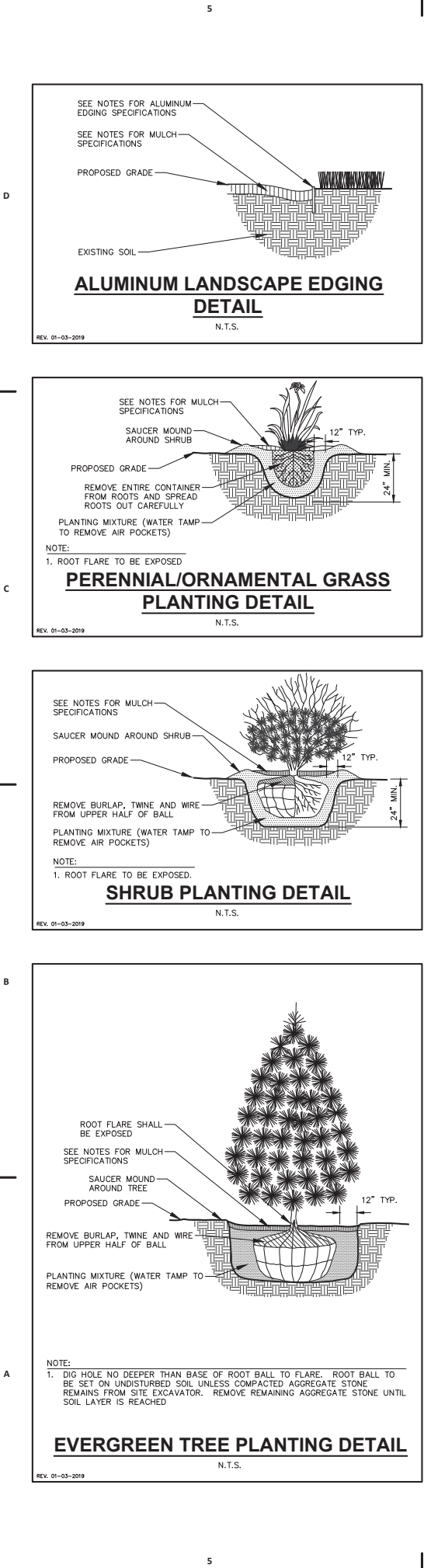
LANDSCAPE PLAN

Sheet No.

**L100**



File: N:\PROJECT\2025\12111096\DWG\Landscape Details\L200 - LANDSCAPE DETAILS AND NOTES User: mmmml Published: May 07, 2024 - 12:59pm Xref's:



Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
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| 2024.05.07 | SIP SUBMITTAL SET    |

Project No. 2000-0126

Plot Date: 3/8/2024 2:00:52 PM

Drawn by: DMK/MRM/KS

Checked by: DMK

Approved by:

PERMIT SUBMITTAL SET

Sheet Title

LOWER LEVEL OVERALL  
PLAN

Sheet No.

A101

KEYNOTES - OVERALL FLOOR PLAN

| MARK  | DESCRIPTION                                   |
|-------|-----------------------------------------------|
| 10.01 | FIRE EXTINGUISHER CABINET                     |
| 22.03 | FLOOR DRAIN; SEE PLUMBING                     |
| 22.04 | TRENCH DRAIN AT BOTTOM OF SLOPE; SEE PLUMBING |
| 32.01 | STEEL PIPE BOLLARD                            |

FOUNDATION LAYOUT

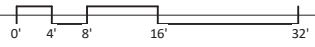
1. ALL CONCRETE STOOPS AND PATIOS TO SLOPE AWAY FROM THE BUILDING.
2. CONCRETE CURB WHERE REQUIRED SHOWN IN DASHED LINE.

GENERAL PLAN NOTES

1. DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD TO FACE OF STUD.
2. DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
3. DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
4. STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
5. STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
6. DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
7. SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
8. SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
9. SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
10. DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
11. SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
12. SEE SHEET A900 FOR COMMON AREA ROOM FINISH SCHEDULE

A2 LOWER PARKING LEVEL PLAN - OVERALL

SCALE: 1/8" = 1'-0"



| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
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| 2024.04.15   | A1 - BID SET         |
| 2024.05.07   | SIP SUBMITTAL SET    |

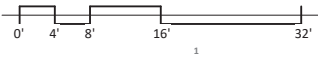
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| Plot Date:   | 4/16/2024 1:24:37 PM |
| Drawn by:    | DMK/MRM/KS           |
| Checked by:  | DMK                  |
| Approved by: |                      |
| BID SET      |                      |

|             |                                 |
|-------------|---------------------------------|
| Sheet Title | 1st/GROUND FLOOR PLAN - OVERALL |
|-------------|---------------------------------|

| KEYNOTES - OVERALL FLOOR PLAN |                                       |
|-------------------------------|---------------------------------------|
| MARK                          | DESCRIPTION                           |
| 09.01                         | CORRIDOR BUMP OUT, SEE DETAIL D1/A311 |
| 10.01                         | FIRE EXTINGUISHER CABINET             |
| 22.03                         | FLOOR DRAIN; SEE PLUMBING             |
| 32.01                         | STEEL PIPE BOLLARD                    |

- GENERAL PLAN NOTES**
- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD TO FACE OF STUD.
  - DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
  - DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
  - STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
  - STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
  - DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
  - SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
  - SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
  - SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
  - DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
  - SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
  - SEE SHEET A900 FOR COMMON AREA ROOM FINISH SCHEDULE

**A2 1st/GROUND FLOOR PLAN - OVERALL**  
SCALE: 1/8" = 1'-0"



| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.04.15   | A1 - BID SET         |
| 2024.05.07   | SP SUBMITTAL SET     |

|              |                      |
|--------------|----------------------|
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| Drawn by:    | DMK/HDJ              |
| Checked by:  |                      |
| Approved by: |                      |
| BID SET      |                      |

|             |                                           |
|-------------|-------------------------------------------|
| Sheet Title | 1st/GROUND FLOOR PLAN - REFLECTED CEILING |
|-------------|-------------------------------------------|

KEYNOTES - OVERALL FLOOR PLAN

| MARK  | DESCRIPTION                                                                             |
|-------|-----------------------------------------------------------------------------------------|
| 07.04 | METAL CANOPY, DIMENSIONS PER RCP. SEE DETAIL B5/A310 FOR SECTION AND ATTACHMENT DETAILS |

REFLECTED CEILING PLAN SYMBOLS

|  |                                                                              |
|--|------------------------------------------------------------------------------|
|  | 5/8" GYPSUM WALL BOARD ON 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE |
|  | SOFFIT SYSTEM ATTACHED TO STRUCTURE ABOVE                                    |
|  | 2x2" ACOUSTICAL CEILING TILE                                                 |
|  | LOW-PRO / RECESSED CAN LIGHT                                                 |
|  | HVAC SUPPLY DIFFUSER                                                         |
|  | HVAC EXHAUST / TRANSFER DIFFUSER                                             |
|  | ROOF ACCESS PANEL                                                            |
|  | CEILING FAN                                                                  |
|  | CEILING MOUNTED FIXTURE                                                      |

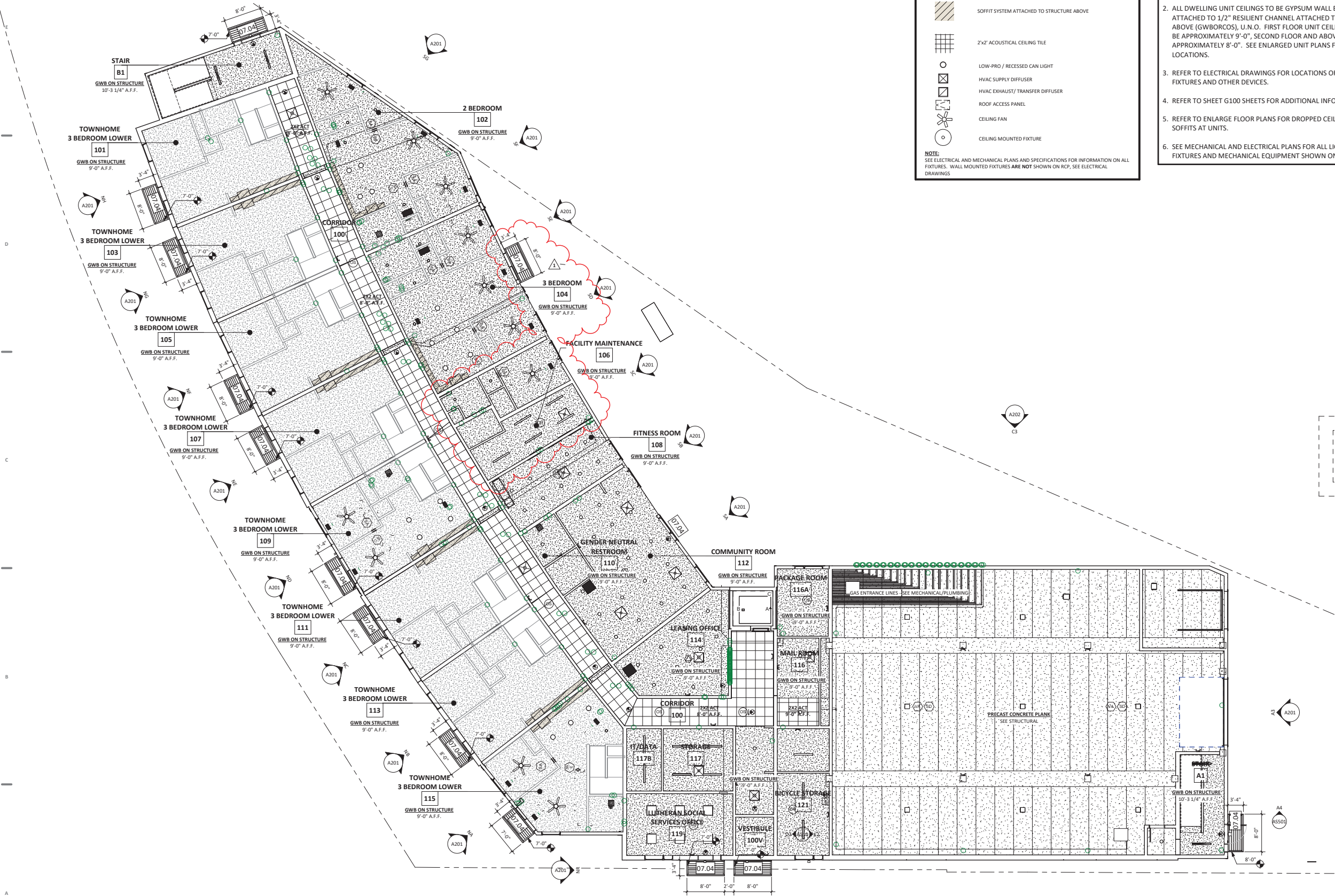
NOTE:  
SEE ELECTRICAL AND MECHANICAL PLANS AND SPECIFICATIONS FOR INFORMATION ON ALL FIXTURES. WALL MOUNTED FIXTURES ARE NOT SHOWN ON RCP, SEE ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN NOTES

- ALL RCP DIMENSIONS ARE FROM FINISHED FACE OF WALL, U.N.O.
- GYPSUM BOARD CEILING SHALL RECEIVE PAINT FINISH. REFER TO FINISH SCHEDULE AND LEGEND.
- ALL DWELLING UNIT CEILINGS TO BE GYPSUM WALL BOARD (GWB) ATTACHED TO 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE (GWBORCOS), U.N.O. FIRST FLOOR UNIT CEILING HEIGHTS TO BE APPROXIMATELY 9'-0", SECOND FLOOR AND ABOVE APPROXIMATELY 8'-0". SEE ENLARGED UNIT PLANS FOR SOFFIT UNIT LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND OTHER DEVICES.
- REFER TO SHEET G100 SHEETS FOR ADDITIONAL INFORMATION.
- REFER TO ENLARGE FLOOR PLANS FOR DROPPED CEILINGS AND SOFFITS AT UNITS.
- SEE MECHANICAL AND ELECTRICAL PLANS FOR ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT SHOWN ON RCP.

**A2** 1st/GROUND FLOOR - REFLECTED CEILING

SCALE: 1/8" = 1'-0"



| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.05.07   | SUBMITTAL SET        |

|                          |                     |
|--------------------------|---------------------|
| Project No.              | 2000-0126           |
| Plot Date:               | 3/8/2024 2:01:10 PM |
| Drawn by:                | DMK/MRM             |
| Checked by:              | DMK                 |
| Approved by:             |                     |
| PERMIT SUBMITTAL SET     |                     |
| Sheet Title              |                     |
| 2nd FLOOR PLAN - OVERALL |                     |

KEYNOTES - OVERALL FLOOR PLAN

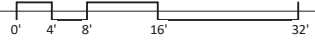
| MARK  | DESCRIPTION                           |
|-------|---------------------------------------|
| 09.01 | CORRIDOR BUMP OUT, SEE DETAIL D1/A311 |
| 10.01 | FIRE EXTINGUISHER CABINET             |

GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD TO FACE OF STUD.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
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- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
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- SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
- SEE SHEET A900 FOR COMMON AREA ROOM FINISH SCHEDULE

2nd FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.05.07 | SP SUBMITTAL SET     |

Project No. 2000-0126

Plot Date: 3/8/2024 2:01:14 PM

Drawn by: DMK/HDJ

Checked by:

Approved by:

PERMIT SUBMITTAL SET

Sheet Title

2nd FLOOR PLAN -  
REFLECTED CEILING

Sheet No.

A122

REFLECTED CEILING PLAN SYMBOLS

|  |                                                                              |
|--|------------------------------------------------------------------------------|
|  | 5/8" GYPSUM WALL BOARD ON 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE |
|  | SOFFIT SYSTEM ATTACHED TO STRUCTURE ABOVE                                    |
|  | 2x2' ACOUSTICAL CEILING TILE                                                 |
|  | LOW-PRO / RECESSED CAN LIGHT                                                 |
|  | HVAC SUPPLY DIFFUSER                                                         |
|  | HVAC EXHAUST/ TRANSFER DIFFUSER                                              |
|  | ROOF ACCESS PANEL                                                            |
|  | CEILING FAN                                                                  |
|  | CEILING MOUNTED FIXTURE                                                      |

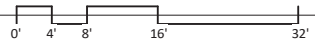
NOTE:  
SEE ELECTRICAL AND MECHANICAL PLANS AND SPECIFICATIONS FOR INFORMATION ON ALL FIXTURES. WALL MOUNTED FIXTURES ARE NOT SHOWN ON RCP, SEE ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN NOTES

- ALL RCP DIMENSIONS ARE FROM FINISHED FACE OF WALL, U.N.O.
- GYPSUM BOARD CEILING SHALL RECEIVE PAINT FINISH. REFER TO FINISH SCHEDULE AND LEGEND.
- ALL DWELLING UNIT CEILINGS TO BE GYPSUM WALL BOARD (GWB) ATTACHED TO 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE (GWBORCOS), U.N.O. FIRST FLOOR UNIT CEILING HEIGHTS TO BE APPROXIMATELY 9'-0", SECOND FLOOR AND ABOVE APPROXIMATELY 8'-0". SEE ENLARGED UNIT PLANS FOR SOFFIT UNIT LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND OTHER DEVICES.
- REFER TO SHEET G100 SHEETS FOR ADDITIONAL INFORMATION.
- REFER TO ENLARGE FLOOR PLANS FOR DROPPED CEILINGS AND SOFFITS AT UNITS.
- SEE MECHANICAL AND ELECTRICAL PLANS FOR ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT SHOWN ON RCP.

A2 2nd FLOOR PLAN - REFLECTED CEILING

SCALE: 1/8" = 1'-0"



| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.05.07   | SIP SUBMITTAL SET    |

|                          |                     |
|--------------------------|---------------------|
| Project No.              | 2000-0126           |
| Plot Date:               | 3/8/2024 2:01:18 PM |
| Drawn by:                | DMK/MMR             |
| Checked by:              | DMK                 |
| Approved by:             |                     |
| PERMIT SUBMITTAL SET     |                     |
| Sheet Title              |                     |
| 3rd FLOOR PLAN - OVERALL |                     |

KEYNOTES - OVERALL FLOOR PLAN

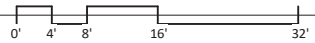
| MARK  | DESCRIPTION                           |
|-------|---------------------------------------|
| 09.01 | CORRIDOR BUMP OUT, SEE DETAIL D1/A311 |
| 10.01 | FIRE EXTINGUISHER CABINET             |

GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD TO FACE OF STUD.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
- DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
- SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
- DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
- SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
- SEE SHEET A900 FOR COMMON AREA ROOM FINISH SCHEDULE

1 3rd FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.05.07 | SP SUBMITTAL SET     |

Project No. 2000-0126

Plot Date: 3/8/2024 2:01:22 PM

Drawn by: DMK/HDJ

Checked by:

Approved by:

PERMIT SUBMITTAL SET

Sheet Title

3rd FLOOR PLAN -  
REFLECTED CEILING

Sheet No.

A132

REFLECTED CEILING PLAN SYMBOLS

|  |                                                                              |
|--|------------------------------------------------------------------------------|
|  | 5/8" GYPSUM WALL BOARD ON 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE |
|  | SOFFIT SYSTEM ATTACHED TO STRUCTURE ABOVE                                    |
|  | 2x2' ACOUSTICAL CEILING TILE                                                 |
|  | LOW-PRO / RECESSED CAN LIGHT                                                 |
|  | HVAC SUPPLY DIFFUSER                                                         |
|  | HVAC EXHAUST / TRANSFER DIFFUSER                                             |
|  | ROOF ACCESS PANEL                                                            |
|  | CEILING FAN                                                                  |
|  | CEILING MOUNTED FIXTURE                                                      |

NOTE:  
SEE ELECTRICAL AND MECHANICAL PLANS AND SPECIFICATIONS FOR INFORMATION ON ALL FIXTURES. WALL MOUNTED FIXTURES ARE NOT SHOWN ON RCP, SEE ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN NOTES

- ALL RCP DIMENSIONS ARE FROM FINISHED FACE OF WALL, U.N.O.
- GYPSUM BOARD CEILING SHALL RECEIVE PAINT FINISH. REFER TO FINISH SCHEDULE AND LEGEND.
- ALL DWELLING UNIT CEILINGS TO BE GYPSUM WALL BOARD (GWB) ATTACHED TO 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE (GWBORCOS), U.N.O. FIRST FLOOR UNIT CEILING HEIGHTS TO BE APPROXIMATELY 9'-0", SECOND FLOOR AND ABOVE APPROXIMATELY 8'-0". SEE ENLARGED UNIT PLANS FOR SOFFIT UNIT LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND OTHER DEVICES.
- REFER TO SHEET G100 SHEETS FOR ADDITIONAL INFORMATION.
- REFER TO ENLARGE FLOOR PLANS FOR DROPPED CEILINGS AND SOFFITS AT UNITS.
- SEE MECHANICAL AND ELECTRICAL PLANS FOR ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT SHOWN ON RCP.

A2 3rd FLOOR PLAN - REFLECTED CEILING

SCALE: 1/8" = 1'-0"



| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.05.07   | SIP SUBMITTAL SET    |

|                          |                     |
|--------------------------|---------------------|
| Project No.              | 2000-0126           |
| Plot Date:               | 3/8/2024 2:01:26 PM |
| Drawn by:                | DMK/MRM             |
| Checked by:              | DMK                 |
| Approved by:             |                     |
| PERMIT SUBMITTAL SET     |                     |
| Sheet Title              |                     |
| 4th FLOOR PLAN - OVERALL |                     |

KEYNOTES - OVERALL FLOOR PLAN

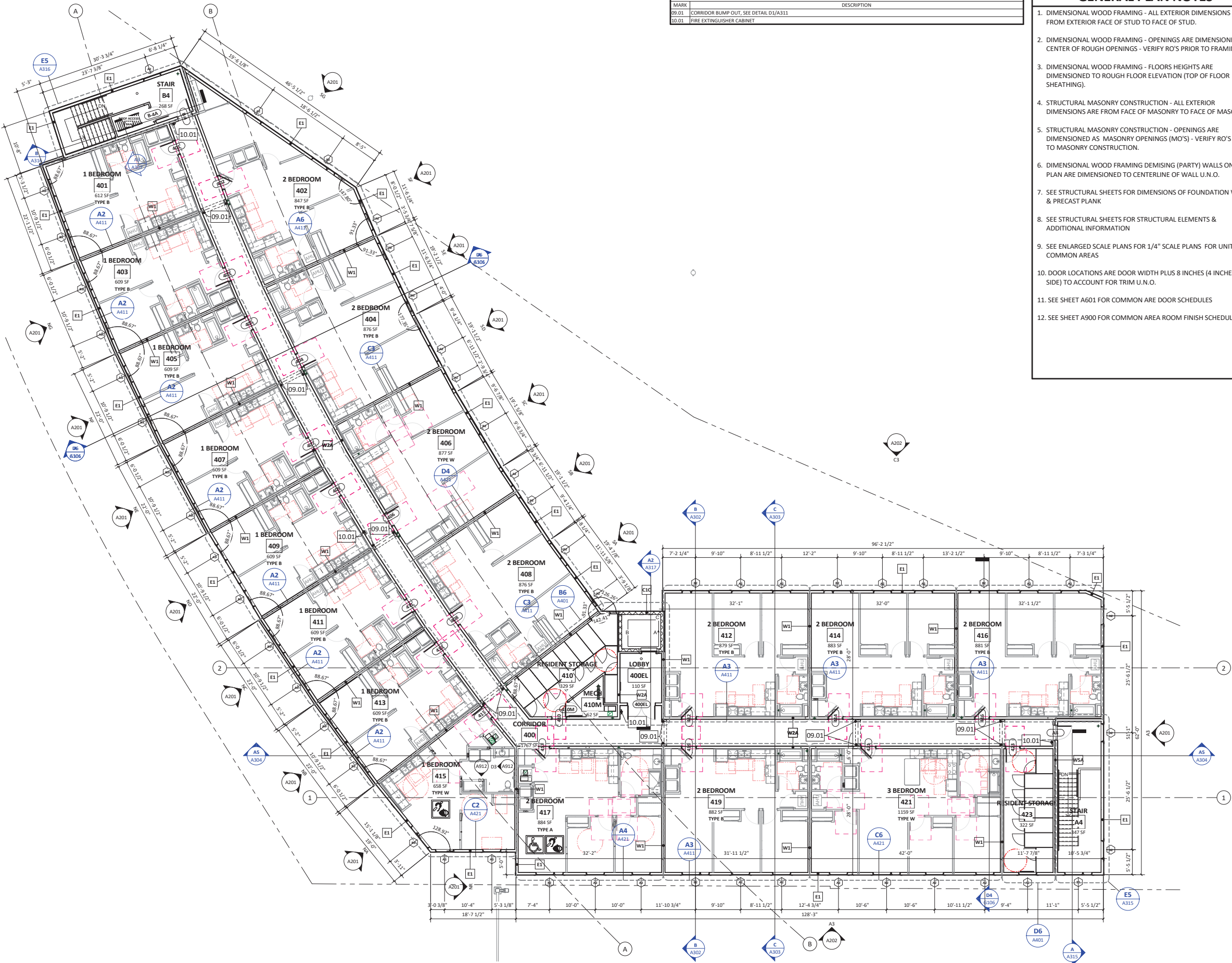
| MARK  | DESCRIPTION                           |
|-------|---------------------------------------|
| 09.01 | CORRIDOR BUMP OUT, SEE DETAIL D3/A311 |
| 10.01 | FIRE EXTINGUISHER CABINET             |

GENERAL PLAN NOTES

- DIMENSIONAL WOOD FRAMING - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD TO FACE OF STUD.
- DIMENSIONAL WOOD FRAMING - OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS - VERIFY RO'S PRIOR TO FRAMING.
- DIMENSIONAL WOOD FRAMING - FLOORS HEIGHTS ARE DIMENSIONED TO ROUGH FLOOR ELEVATION (TOP OF FLOOR SHEATHING).
- STRUCTURAL MASONRY CONSTRUCTION - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY.
- STRUCTURAL MASONRY CONSTRUCTION - OPENINGS ARE DIMENSIONED AS MASONRY OPENINGS (MO'S) - VERIFY RO'S PRIOR TO MASONRY CONSTRUCTION.
- DIMENSIONAL WOOD FRAMING DEMISING (PARTY) WALLS ON THIS PLAN ARE DIMENSIONED TO CENTERLINE OF WALL U.N.O.
- SEE STRUCTURAL SHEETS FOR DIMENSIONS OF FOUNDATION WALLS & PRECAST PLANK
- SEE STRUCTURAL SHEETS FOR STRUCTURAL ELEMENTS & ADDITIONAL INFORMATION
- SEE ENLARGED SCALE PLANS FOR 1/4" SCALE PLANS FOR UNITS & COMMON AREAS
- DOOR LOCATIONS ARE DOOR WIDTH PLUS 8 INCHES (4 INCHES EACH SIDE) TO ACCOUNT FOR TRIM U.N.O.
- SEE SHEET A601 FOR COMMON ARE DOOR SCHEDULES
- SEE SHEET A900 FOR COMMON AREA ROOM FINISH SCHEDULE

**A2** 4th FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

Issue Dates:

| DATE       | DESCRIPTION          |
|------------|----------------------|
| 2024.03.11 | PERMIT SUBMITTAL SET |
| 2024.05.07 | SP SUBMITTAL SET     |

Project No. 2000-0126

Plot Date: 3/8/2024 2:01:32 PM

Drawn by: DMK/HDJ

Checked by:

Approved by:

PERMIT SUBMITTAL SET

Sheet Title

4th FLOOR PLAN -  
REFLECTED CEILING

Sheet No.

A142

REFLECTED CEILING PLAN SYMBOLS



5/8" GYPSUM WALL BOARD ON 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE



SOFFIT SYSTEM ATTACHED TO STRUCTURE ABOVE



2x2' ACOUSTICAL CEILING TILE



LOW-PRO / RECESSED CAN LIGHT



HVAC SUPPLY DIFFUSER



HVAC EXHAUST/ TRANSFER DIFFUSER



ROOF ACCESS PANEL



CEILING FAN



CEILING MOUNTED FIXTURE

NOTE:

SEE ELECTRICAL AND MECHANICAL PLANS AND SPECIFICATIONS FOR INFORMATION ON ALL FIXTURES. WALL MOUNTED FIXTURES ARE NOT SHOWN ON RCP, SEE ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN NOTES

1. ALL RCP DIMENSIONS ARE FROM FINISHED FACE OF WALL, U.N.O.

1. GYPSUM BOARD CEILING SHALL RECEIVE PAINT FINISH. REFER TO FINISH SCHEDULE AND LEGEND.

2. ALL DWELLING UNIT CEILINGS TO BE GYPSUM WALL BOARD (GWB) ATTACHED TO 1/2" RESILIENT CHANNEL ATTACHED TO STRUCTURE ABOVE (GWBORCOS), U.N.O. FIRST FLOOR UNIT CEILING HEIGHTS TO BE APPROXIMATELY 9'-0", SECOND FLOOR AND ABOVE APPROXIMATELY 8'-0". SEE ENLARGED UNIT PLANS FOR SOFFIT UNIT LOCATIONS.

3. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND OTHER DEVICES.

4. REFER TO SHEET G100 SHEETS FOR ADDITIONAL INFORMATION.

5. REFER TO ENLARGE FLOOR PLANS FOR DROPPED CEILINGS AND SOFFITS AT UNITS.

6. SEE MECHANICAL AND ELECTRICAL PLANS FOR ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT SHOWN ON RCP.

A2

4th FLOOR PLAN - REFLECTED CEILING

SCALE: 1/8" = 1'-0"



| KEYNOTES - OVERALL FLOOR PLAN |                                                                                              |
|-------------------------------|----------------------------------------------------------------------------------------------|
| MARK                          | DESCRIPTION                                                                                  |
| 05.01                         | METAL SAFETY GATE                                                                            |
| 07.01                         | MANUFACTURED RIGID INSUL CRICKETS BELOW MEMBRANE ROOFING                                     |
| 07.02                         | ROOFTOP WALK PADS - BY ROOFING CONTRACTOR; MATERIALS TO BE COMPATIBLE WITH ROOFING MATERIALS |
| 07.03                         | ALUMINUM COPING, TRIM PROFILE "TBD," COLOR "TBD"                                             |
| 08.01                         | ROOF ACCESS HATCH; AREA OF HATCH TO BE NOT LESS THAN 16 SF IN AREA                           |
| 22.01                         | ROOF DRAIN; SEE PLUMBING                                                                     |
| 22.02                         | OVERFLOW ROOF DRAIN; SEE PLUMBING                                                            |
| 23.01                         | CONDENSER ARRAY; SEE MECHANICAL PLANS AND SCHEDULES                                          |
| 26.01                         | DISCONNECT SWITCHES FOR CONDENSER ARRAY; SEE ELECTRICAL PLANS AND SCHEDULES                  |

WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

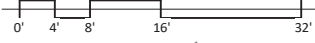
| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.05.07   | SP SUBMITTAL SET     |

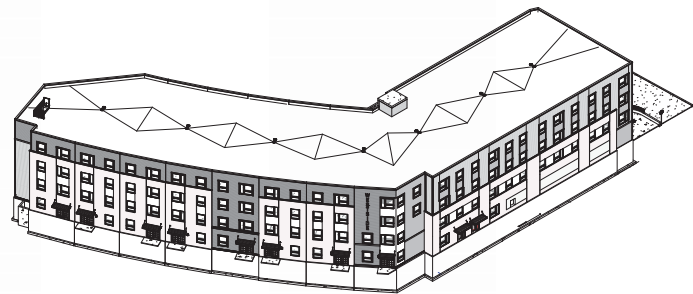
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| Project No.          | 2000-0126           |
| Plot Date:           | 3/8/2024 2:01:36 PM |
| Drawn by:            | DMK                 |
| Checked by:          |                     |
| Approved by:         |                     |
| PERMIT SUBMITTAL SET |                     |
| Sheet Title          |                     |
| ROOF PLAN - OVERALL  |                     |

Sheet No.  
**A151**

1 ROOF PLAN - OVERALL

SCALE: 1/8" = 1'-0"

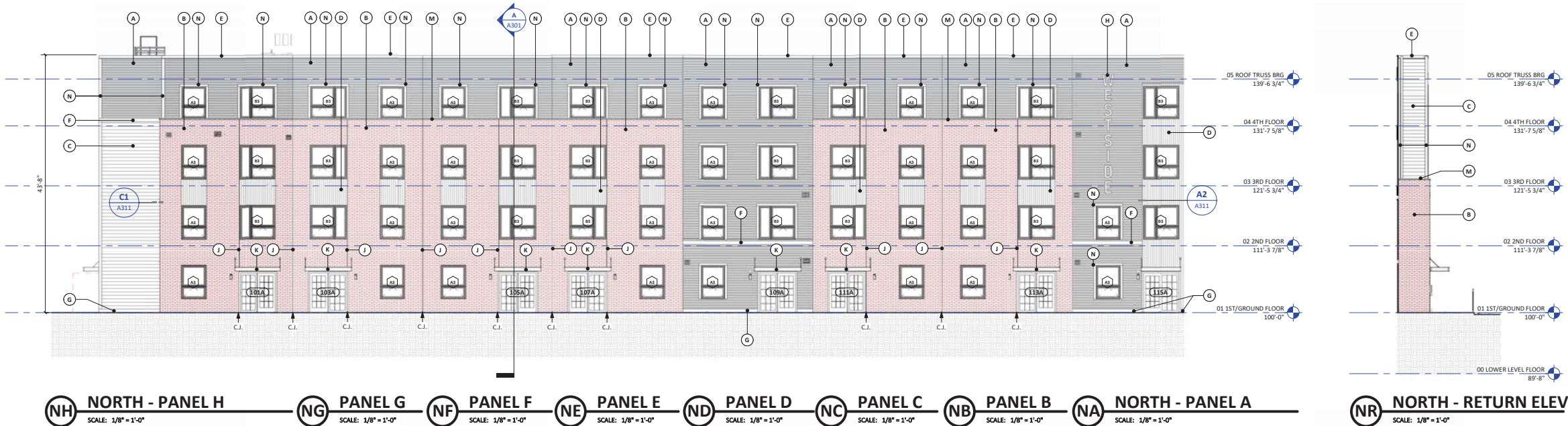




E6 3D AXON  
SCALE:

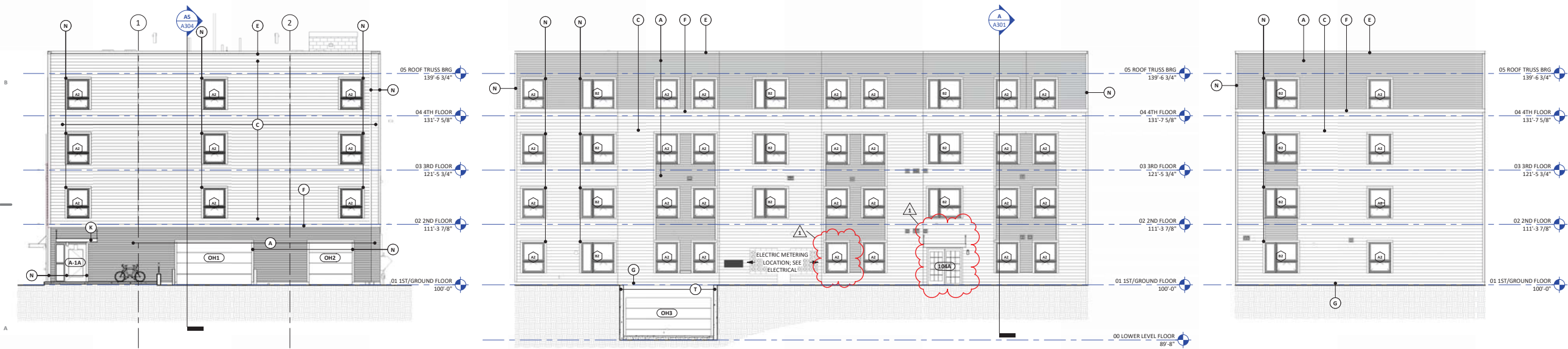
| MATERIAL SCHEDULE - EXTERIOR ELEVATIONS |                                                                                          |
|-----------------------------------------|------------------------------------------------------------------------------------------|
| MARK                                    | DESCRIPTION                                                                              |
| A                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 5" REVEAL; COLOR "TUNDRA GRAY"                       |
| B                                       | KING BRICK MASONRY VENEER, COLOR BOWERSTON #208 CLEAR W/C                                |
| C                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 7" REVEAL; COLOR "DESERT STONE"                      |
| D                                       | CORRUGATED METAL PANEL                                                                   |
| E                                       | ALUMINUM COPING, TRIM PROFILE "TBD," COLOR "TBD"                                         |
| F                                       | 8" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                               |
| G                                       | MOISTURE RESISTANT SKIRT BOARD; BORAL TRU EXTERIOR® OR EQ, COLOR MATCH TO "DESERT STONE" |
| H                                       | LARGE FORMAT PERMANENT BUILDING SIGNAGE; FINAL DESIGN TBD                                |
| J                                       | MASONRY CONTROL JOINT                                                                    |
| K                                       | METAL CANOPY; DIMENSIONS PER RCP. SEE DETAIL B5/A310 FOR SECTION AND ATTACHMENT DETAILS  |
| L                                       | KING BRICK MASONRY VENEER, ACCENT COLOR BOWERSTON #41 W/C                                |
| M                                       | PRECAST SILL W/ CHAMFERED TOP EDGE                                                       |
| N                                       | 4.5" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                             |
| T                                       | CAST IN PLACE RETAINING WALL, SEE CIVIL                                                  |

| 086050 WINDOW SCHEDULE |       |           |       |              |             |                                                        |
|------------------------|-------|-----------|-------|--------------|-------------|--------------------------------------------------------|
| Type Mark              | Count | R.O. SIZE |       | Manufacturer | Model       | Description                                            |
|                        |       | H         | W     |              |             |                                                        |
| A2                     | 87    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, DOUBLE PANE                 |
| A3                     | 36    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, TRIPLE PANE                 |
| B2                     | 38    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, DOUBLE PANE |
| B3                     | 24    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, TRIPLE PANE |
| Grand total: 185       |       |           |       |              |             |                                                        |



WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

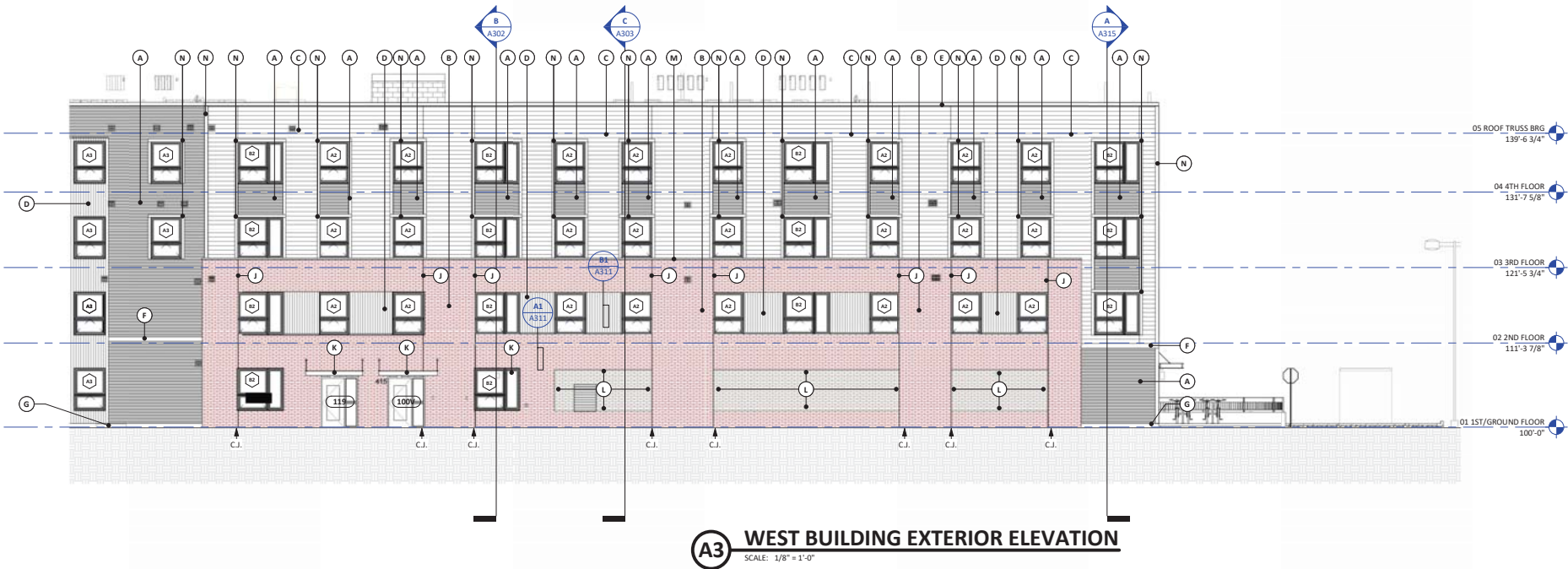
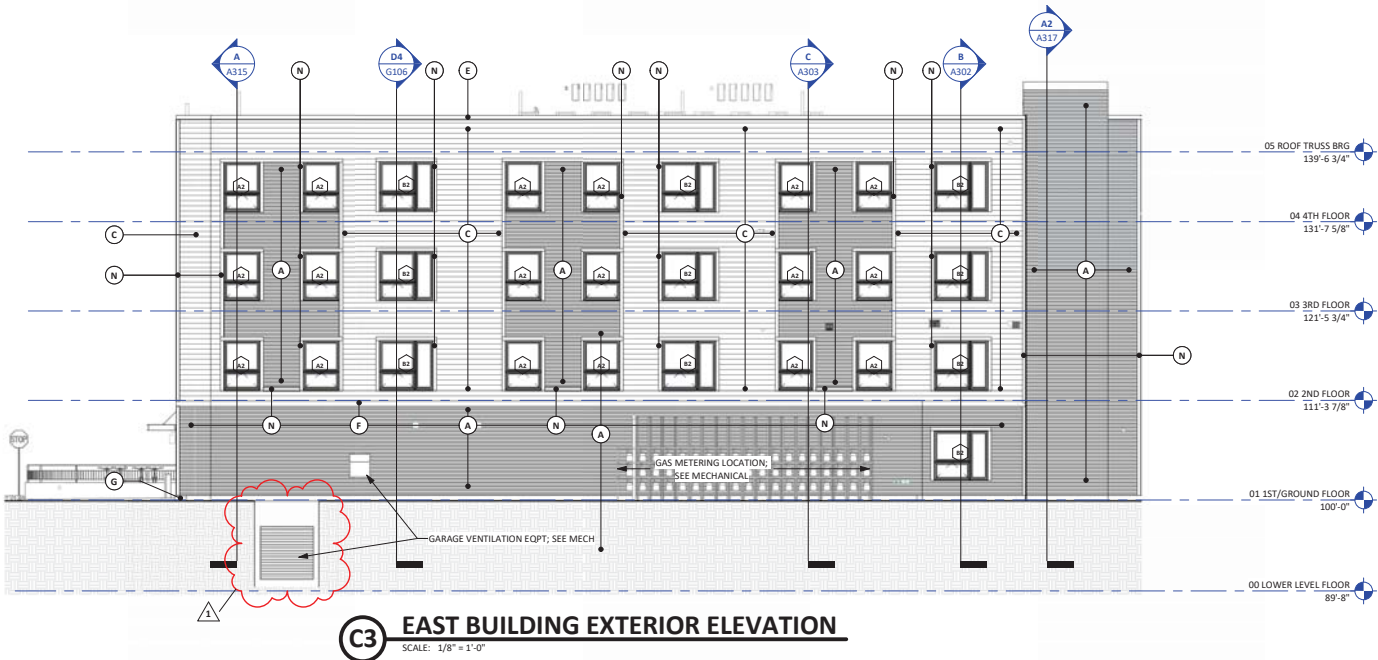
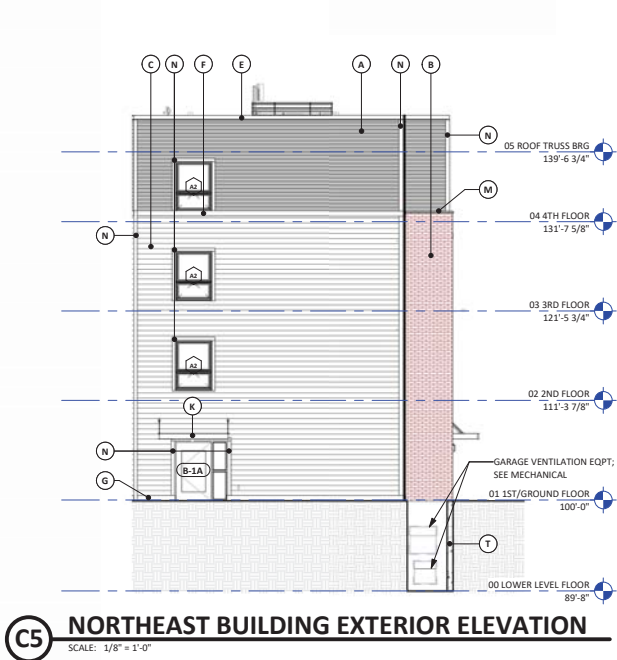


| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.04.15   | A1 - BID SET         |
| 2024.05.07   | SIP SUBMITTAL SET    |

|                     |                      |
|---------------------|----------------------|
| Project No.         | 2000-0126            |
| Plot Date:          | 4/16/2024 1:25:22 PM |
| Drawn by:           | DMK/MRM              |
| Checked by:         | DMK                  |
| Approved by:        |                      |
| BID SET             |                      |
| Sheet Title         |                      |
| EXTERIOR ELEVATIONS |                      |

| MATERIAL SCHEDULE - EXTERIOR ELEVATIONS |                                                                                         |
|-----------------------------------------|-----------------------------------------------------------------------------------------|
| MARK                                    | DESCRIPTION                                                                             |
| A                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 5" REVEAL; COLOR "TUNDRA GRAY"                      |
| B                                       | KING BRICK MASONRY VENEER, COLOR BOWERSTON #208 CLEAR W/C                               |
| C                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 7" REVEAL; COLOR "DESERT STONE"                     |
| D                                       | CORRUGATED METAL PANEL                                                                  |
| E                                       | ALUMINUM COPING, TRIM PROFILE "TBD," COLOR "TBD"                                        |
| F                                       | 8" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                              |
| G                                       | MOISTURE RESISTANT SKIRT BOARD; BORAL TRUEXTERIOR® OR EQ, COLOR MATCH TO "DESERT STONE" |
| H                                       | LARGE FORMAT PERMANENT BUILDING SIGNAGE; FINAL DESIGN TBD                               |
| J                                       | MASONRY CONTROL JOINT                                                                   |
| K                                       | METAL CANOPY; DIMENSIONS PER RCP. SEE DETAIL B5/A310 FOR SECTION AND ATTACHMENT DETAILS |
| L                                       | KING BRICK MASONRY VENEER, ACCENT COLOR BOWERSTON #41 W/C                               |
| M                                       | PRECAST SILL W/ CHAMFERED TOP EDGE                                                      |
| N                                       | 4.5" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                            |
| T                                       | CAST IN PLACE RETAINING WALL, SEE CIVIL                                                 |

| 086050 WINDOW SCHEDULE |       |           |       |              |             |                                                        |
|------------------------|-------|-----------|-------|--------------|-------------|--------------------------------------------------------|
| Type Mark              | Count | R.O. SIZE |       | Manufacturer | Model       | Description                                            |
|                        |       | H         | W     |              |             |                                                        |
| A2                     | 87    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, DOUBLE PANE                 |
| A3                     | 36    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, TRIPLE PANE                 |
| B2                     | 38    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, DOUBLE PANE |
| B3                     | 24    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, TRIPLE PANE |
| Grand total: 185       |       |           |       |              |             |                                                        |

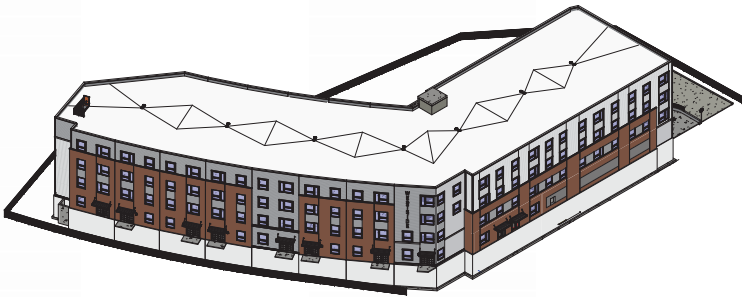


WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.04.15   | A1 - BID SET         |
| 2024.05.07   | SIP SUBMITTAL SET    |

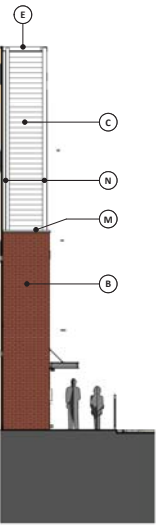
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| Project No.  | 2000-0126            |
| Plot Date:   | 4/16/2024 1:25:58 PM |
| Drawn by:    | DMK/MMR              |
| Checked by:  | DMK                  |
| Approved by: |                      |
| BID SET      |                      |
| Sheet Title  | EXTERIOR ELEVATIONS  |



E6 3D AXON Copy 1  
SCALE:

| MATERIAL SCHEDULE - EXTERIOR ELEVATIONS |                                                                                         |
|-----------------------------------------|-----------------------------------------------------------------------------------------|
| MARK                                    | DESCRIPTION                                                                             |
| A                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 5" REVEAL; COLOR "TUNDRA GRAY"                      |
| B                                       | KING BRICK MASONRY VENEER, COLOR BOWERSTON #208 CLEAR W/C                               |
| C                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 7" REVEAL; COLOR "DESERT STONE"                     |
| D                                       | CORRUGATED METAL PANEL                                                                  |
| E                                       | ALUMINUM COPING, TRIM PROFILE "TBD," COLOR "TBD"                                        |
| F                                       | 8" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                              |
| G                                       | MOISTURE RESISTANT SKIRT BOARD; BORAL TRUExTERIOR® OR EQ, COLOR MATCH TO "DESERT STONE" |
| H                                       | LARGE FORMAT PERMANENT BUILDING SIGNAGE; FINAL DESIGN TBD                               |
| J                                       | MASONRY CONTROL JOINT                                                                   |
| K                                       | METAL CANOPY; DIMENSIONS PER RCP. SEE DETAIL B5/A310 FOR SECTION AND ATTACHMENT DETAILS |
| L                                       | KING BRICK MASONRY VENEER, ACCENT COLOR BOWERSTON #41 W/C                               |
| M                                       | PRECAST SILL W/ CHAMFERED TOP EDGE                                                      |
| N                                       | 4.5" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                            |
| T                                       | CAST IN PLACE RETAINING WALL, SEE CIVIL                                                 |

| 086050 WINDOW SCHEDULE |       |           |       |              |             |                                                        |
|------------------------|-------|-----------|-------|--------------|-------------|--------------------------------------------------------|
| Type Mark              | Count | R.O. SIZE |       | Manufacturer | Model       | Description                                            |
|                        |       | H         | W     |              |             |                                                        |
| A2                     | 87    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, DOUBLE PANE                 |
| A3                     | 36    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, TRIPLE PANE                 |
| B2                     | 38    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, DOUBLE PANE |
| B3                     | 24    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, TRIPLE PANE |
| Grand total: 185       |       |           |       |              |             |                                                        |



NH NORTH - PANEL H COLOR  
SCALE: 1/8" = 1'-0"

NG PANEL G  
SCALE: 1/8" = 1'-0"

NF PANEL F  
SCALE: 1/8" = 1'-0"

NE PANEL E  
SCALE: 1/8" = 1'-0"

ND PANEL D  
SCALE: 1/8" = 1'-0"

NC PANEL C  
SCALE: 1/8" = 1'-0"

NB PANEL B  
SCALE: 1/8" = 1'-0"

NA NORTH - PANEL A COLOR  
SCALE: 1/8" = 1'-0"

NR NORTH - RETURN ELEV COLOR  
SCALE: 1/8" = 1'-0"

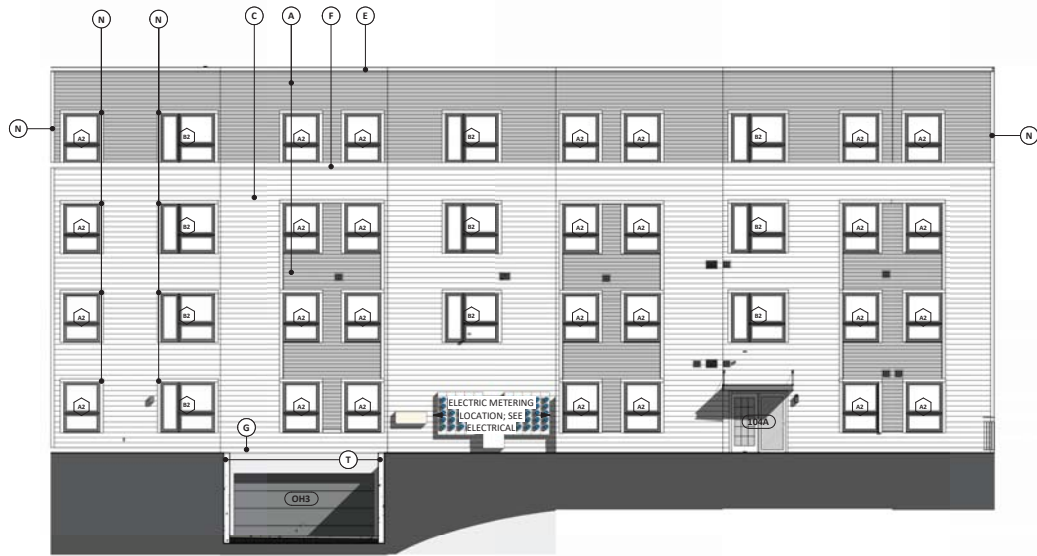
NOTE: ELEVATIONS REVOLVED TO FLAT PLANE

WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401



A3 SOUTH BUILDING EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



SA PANEL A  
SCALE: 1/8" = 1'-0"

SB PANEL B  
SCALE: 1/8" = 1'-0"

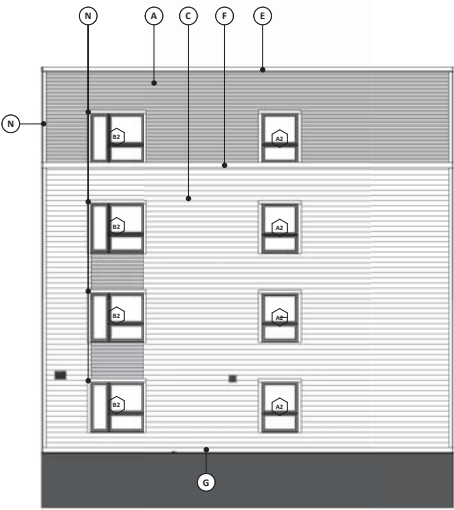
SC PANEL C  
SCALE: 1/8" = 1'-0"

SD PANEL D  
SCALE: 1/8" = 1'-0"

SE PANEL E  
SCALE: 1/8" = 1'-0"

SF SOUTH - PANEL F COLOR  
SCALE: 1/8" = 1'-0"

NOTE: ELEVATIONS REVOLVED TO FLAT PLANE



SG SOUTHEAST COLOR  
SCALE: 1/8" = 1'-0"

| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.04.15   | A1 - BID SET         |
| 2024.05.07   | SIP SUBMITTAL SET    |

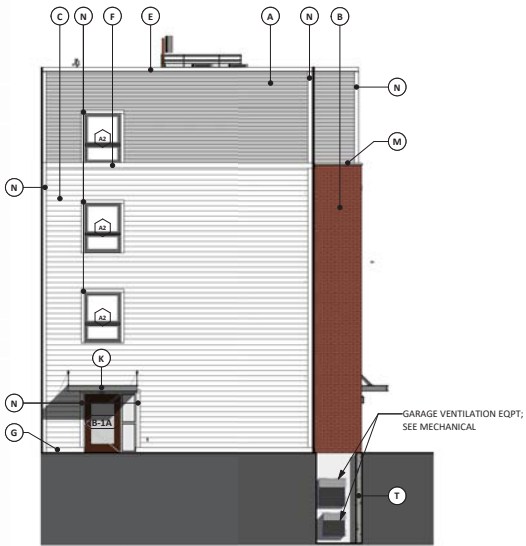
|              |                     |
|--------------|---------------------|
| Project No.  | 2000-0126           |
| Plot Date:   | 5/7/2024 8:14:44 AM |
| Drawn by:    | DMK/MMR             |
| Checked by:  | DMK                 |
| Approved by: |                     |
| BID SET      |                     |

Sheet Title  
EXTERIOR ELEVATIONS  
COLOR

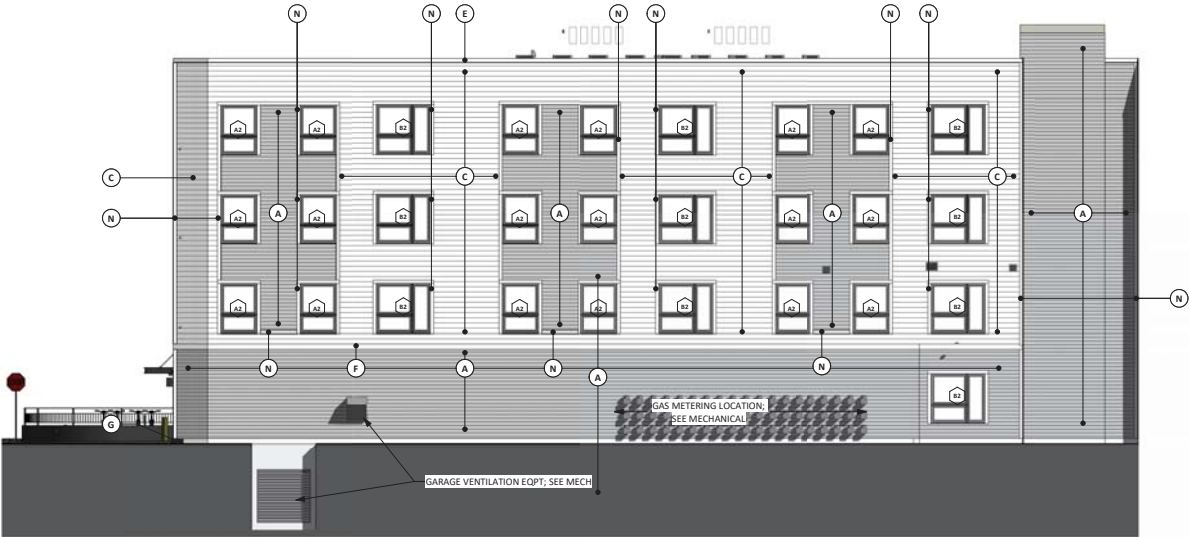
Sheet No.  
A201C

| MATERIAL SCHEDULE - EXTERIOR ELEVATIONS |                                                                                         |
|-----------------------------------------|-----------------------------------------------------------------------------------------|
| MARK                                    | DESCRIPTION                                                                             |
| A                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 5" REVEAL; COLOR "TUNDRA GRAY"                      |
| B                                       | KING BRICK MASONRY VENEER, COLOR BOWERSTON #208 CLEAR W/C                               |
| C                                       | LP SMARTSIDE HORIZONTAL LAP SIDING, 7" REVEAL; COLOR "DESERT STONE"                     |
| D                                       | CORRUGATED METAL PANEL                                                                  |
| E                                       | ALUMINUM COPING, TRIM PROFILE "TBD," COLOR "TBD"                                        |
| F                                       | 8" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                              |
| G                                       | MOISTURE RESISTANT SKIRT BOARD; BORAL TRUEXTERIOR® OR EQ, COLOR MATCH TO "DESERT STONE" |
| H                                       | LARGE FORMAT PERMANENT BUILDING SIGNAGE; FINAL DESIGN TBD                               |
| J                                       | MASONRY CONTROL JOINT                                                                   |
| K                                       | METAL CANOPY; DIMENSIONS PER RCP. SEE DETAIL B5/A310 FOR SECTION AND ATTACHMENT DETAILS |
| L                                       | KING BRICK MASONRY VENEER, ACCENT COLOR BOWERSTON #41 W/C                               |
| M                                       | PRECAST SILL W/ CHAMFERED TOP EDGE                                                      |
| N                                       | 4.5" LP SMARTSIDE TRIM, COLOR "DESERT STONE"                                            |
| T                                       | CAST IN PLACE RETAINING WALL, SEE CIVIL                                                 |

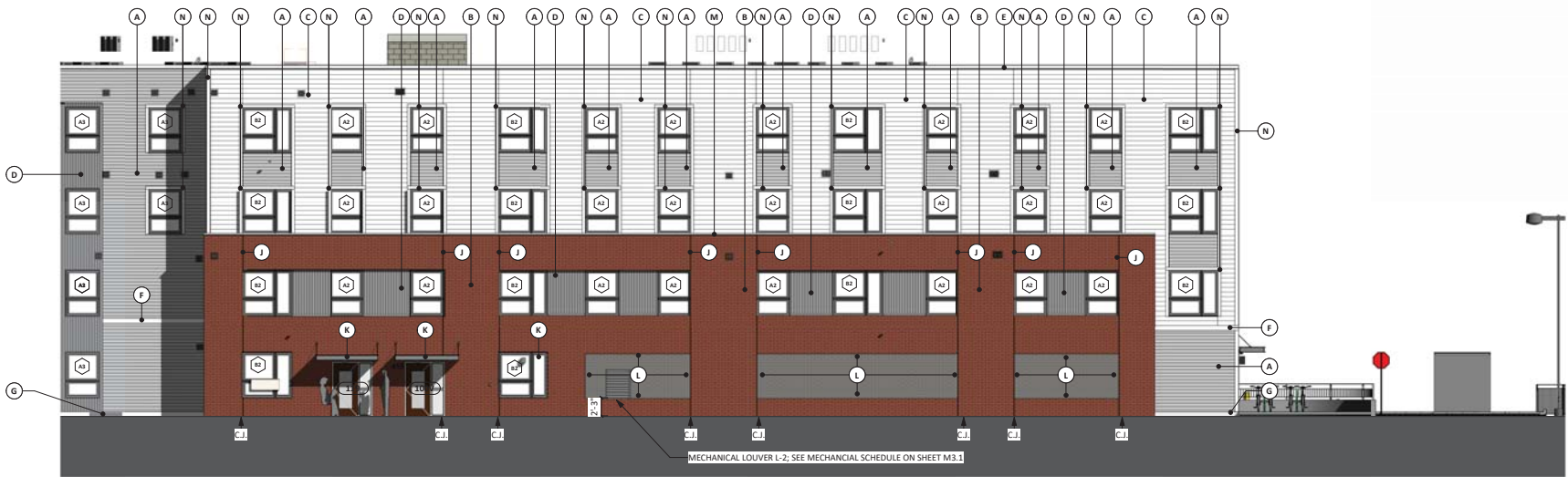
| 086050 WINDOW SCHEDULE |       |           |       |              |             |                                                        |
|------------------------|-------|-----------|-------|--------------|-------------|--------------------------------------------------------|
| Type Mark              | Count | R.O. SIZE |       | Manufacturer | Model       | Description                                            |
|                        |       | H         | W     |              |             |                                                        |
| A2                     | 87    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, DOUBLE PANE                 |
| A3                     | 36    | 5'-6"     | 4'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, TRIPLE PANE                 |
| B2                     | 38    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, DOUBLE PANE |
| B3                     | 24    | 5'-6"     | 6'-0" | QUAKER       | V300 SERIES | FIXED UPPER, AWNING LOWER, FIXED SIDELITE, TRIPLE PANE |
| Grand total: 185       |       |           |       |              |             |                                                        |



**C5** NORTHEAST BUILDING EXTERIOR ELEVATION COLOR  
SCALE: 1/8" = 1'-0"



**C3** EAST BUILDING EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



**A3** WEST BUILDING EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

WESTSIDE COMMONS

415 SOUTH 1st AVENUE  
WAUSAU, WI 54401

| Issue Dates: |                      |
|--------------|----------------------|
| DATE         | DESCRIPTION          |
| 2024.03.11   | PERMIT SUBMITTAL SET |
| 2024.04.15   | A1 - BID SET         |
| 2024.05.15   | A2 - ADDENDUM #2     |
| 2024.05.07   | SIP SUBMITTAL SET    |

|              |                     |
|--------------|---------------------|
| Project No.  | 2000-0126           |
| Plot Date:   | 5/7/2024 8:15:08 AM |
| Drawn by:    | DMK/MMR             |
| Checked by:  | DMK                 |
| Approved by: |                     |
| BID SET      |                     |

|                              |
|------------------------------|
| Sheet Title                  |
| EXTERIOR ELEVATIONS<br>COLOR |

|           |
|-----------|
| Sheet No. |
| A202C     |

***STAFF REPORT TO INFRASTRUCTURE AND FACILITIES  
COMMITTEE – May 9, 2024***

**AGENDA ITEM**

Discussion and possible action on approval of revised Green Tree Meadows Preliminary Plat

**BACKGROUND**

The City previously approved the preliminary plat for Green Tree Meadows. The approved preliminary plat is attached. The developer is purchasing land from the City of Wausau and is proposing to amend the preliminary plat to include a cul-de-sac road off 72<sup>nd</sup> Avenue. See the attached revised preliminary plat.

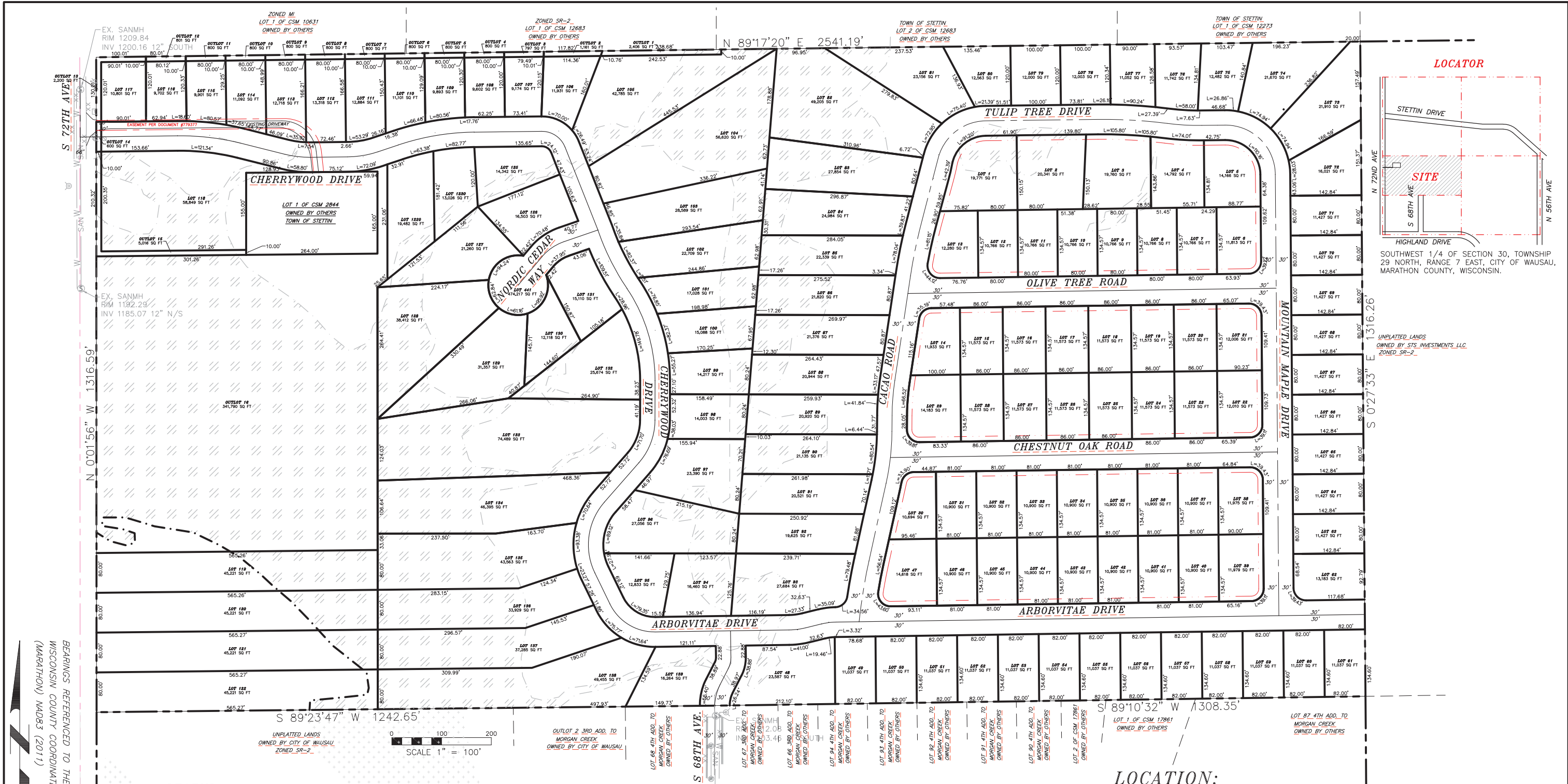
**FISCAL IMPACT**

Approving the revised preliminary plat would create more lots and increased tax base.

**STAFF RECOMMENDATION**

Staff recommends approving the revised Green Tree Meadows Preliminary Plat.

Staff contact: Allen Wesolowski 715-261-6762



**LEGEND**

- PROPOSED 10' UTILITY EASEMENT
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING HYDRANT
- EXISTING TELEPHONE PEDESTAL
- EXISTING POWERPOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE

**WETLAND NOTE**

WETLANDS SHOWN HEREON WERE PROVIDED BY STAR ENVIRONMENTAL WETLAND DELINEATION.

**OUTLOT RESTRICTION**

OUTLOTS OF THIS PLAT BEING DEDICATED TO THE PUBLIC FOR STORM WATER MANAGEMENT

**ZONING NOTE**

DR-8 LOTS 1-39  
FRONT YARD SETBACK 17 FEET  
SIDE YARD SETBACK 8 FEET  
REAR YARD SETBACK 30 FEET  
MINIMUM LOT SIZE 9,600 SQ.FT.

SR-5 LOTS 39-131  
FRONT YARD SETBACK 17 FEET  
SIDE YARD SETBACK 8 FEET  
REAR YARD SETBACK 25 FEET  
MINIMUM LOT SIZE 7,000 SQ.FT.

**OWNER**

BLENKER DEVELOPMENTS LLC  
JASON BLENKER  
PO BOX 40  
AMHERST, WI 54406

**DEVELOPER**

GREEN TREE CONSTRUCTION  
THOMAS UMLAUF  
2579 BEAR CREEK ROAD  
STEVENS POINT, WI 54481

**SURVEYOR & ENGINEER**

TIMOTHY VREELAND - PROFESSIONAL LAND SURVEYOR  
DUSTIN VREELAND - PROFESSIONAL ENGINEER  
6103 DAWN STREET  
WESTON, WI 54476

**LOCATION:**

PART OF THE FRACTION N1/2 OF SW1/4, NW1/4 OF THE SE1/4, SE1/4 OF THE NE1/4, AND ALL OF OUTLOT 1 OF CSM 9015-36-18, ALL IN SECTION 30, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

**SCALE NOTE:**

IF YOU ARE VIEWING THESE PLANS IN AN 11"x17" SIZE THEY MAY BE HALF SCALE FROM THE ORIGINAL 22"x34" SIZE DRAWING AND THE DRAWING SCALE IS HALF OF THAT STATED. CHECK SCALE.

| REVISIONS |      |             |
|-----------|------|-------------|
| BY        | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |

**TITLE PAGE:**

**PRELIMINARY PLAT**

**PROJECT:** GREEN TREE MEADOWS

**LOCATION:** CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN

**VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS**  
6103 DAWN STREET WESTON, WI. 54476  
PHONE NO.: (715) 241-0947  
EMAIL: [dustin@vreelandassociates.us](mailto:dustin@vreelandassociates.us)  
WEBSITE: [www.vreelandlandsurveying.com](http://www.vreelandlandsurveying.com)  
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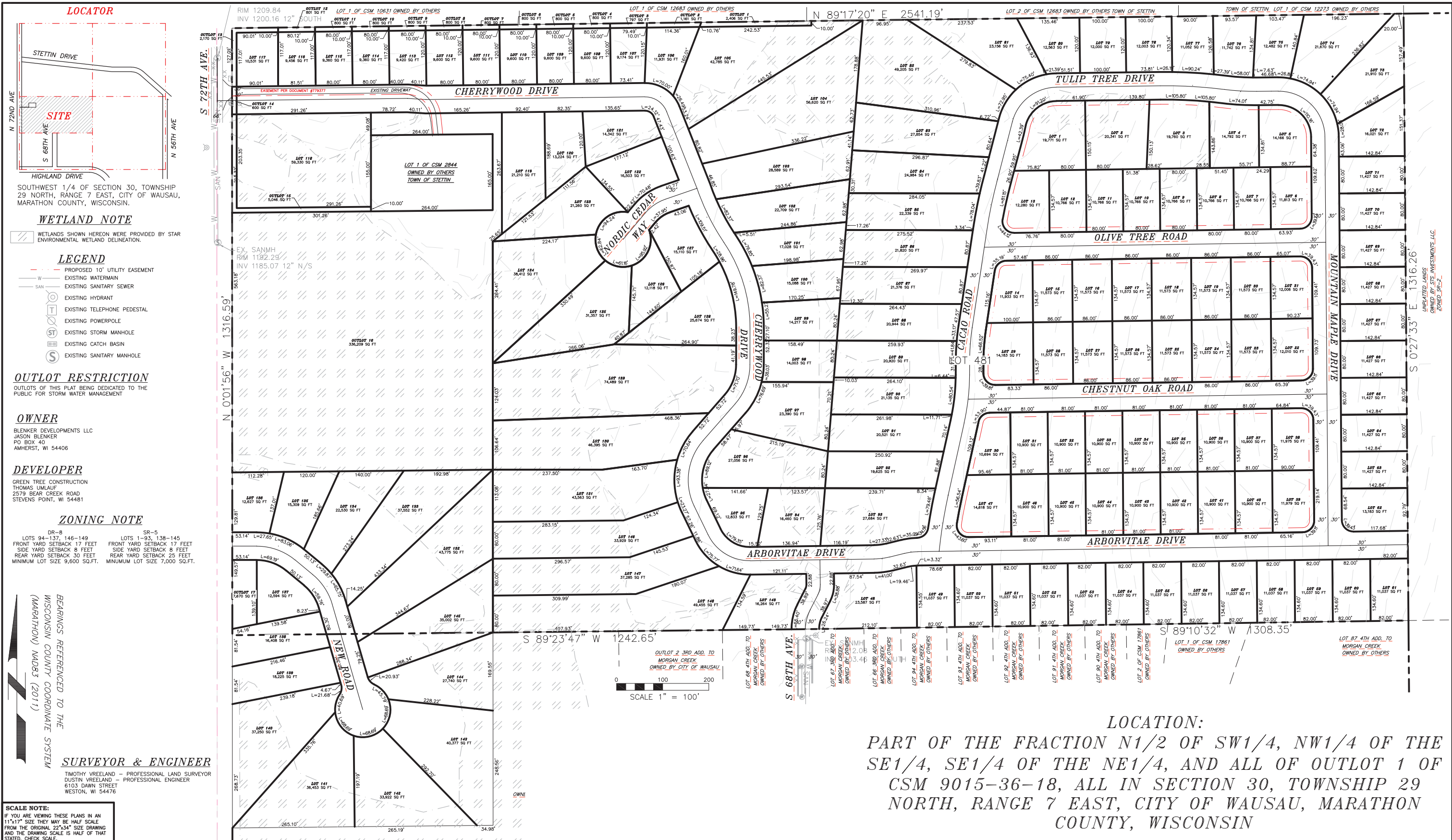
**PREPARED FOR:**

**GREEN TREE CONSTRUCTION**

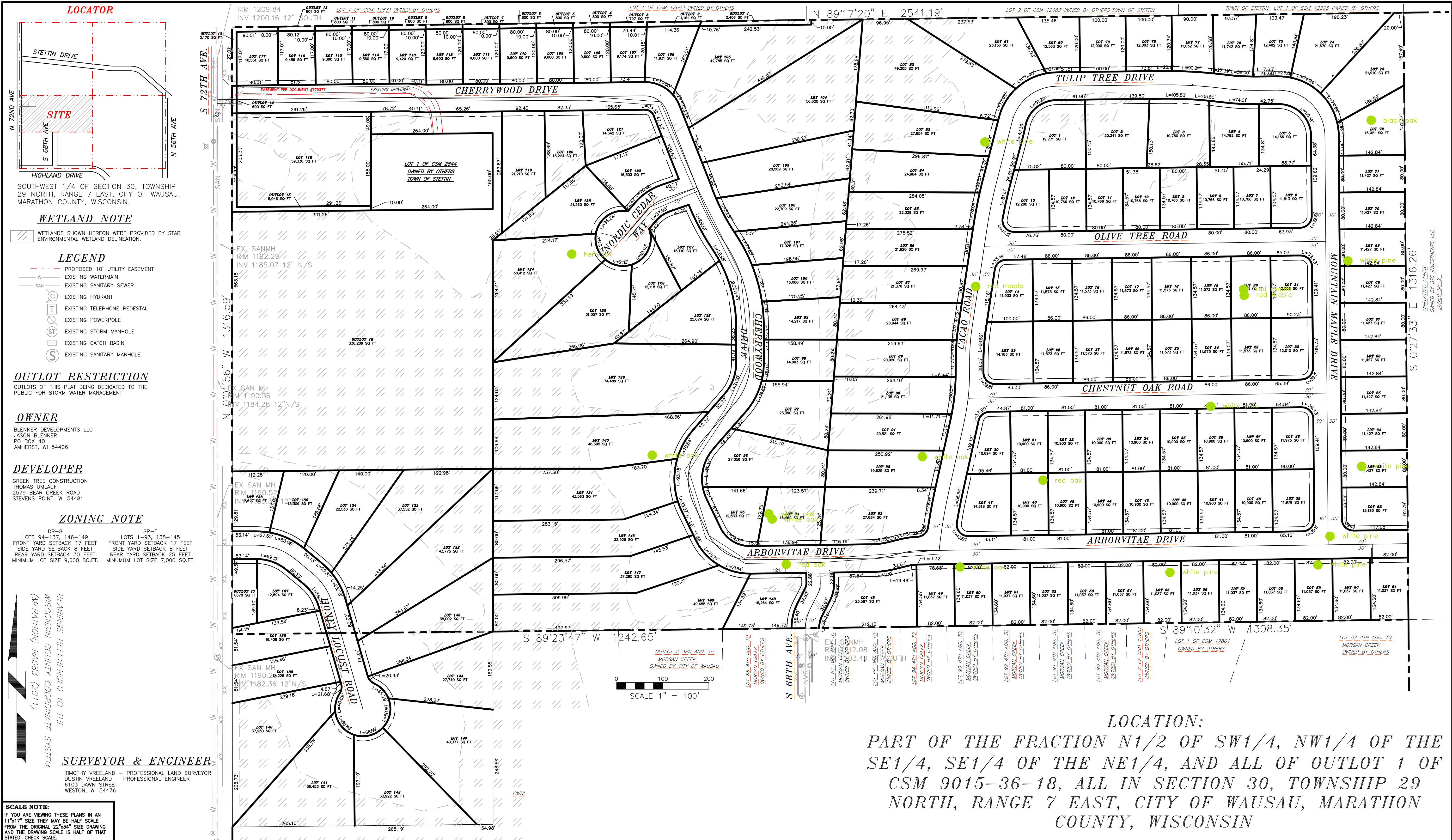
**PLAN DATE:**

**MARCH 25TH, 2024**

**DESIGNER:** DUSTIN VREELAND  
**SURVEYED BY:** CB & TV  
**FILE NO.:** 23-0360 ENGINEERING  
**DATE:** SEPTEMBER 20TH, 2023  
**SCALE:** 1" = 100'  
**SHEET**  
**PRELIM**



**VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS**  
6103 DAWN STREET WESTON, WI. 54476  
PHONE NO.: (715) 241-0947  
EMAIL: [dustin@vreelandassociates.us](mailto:dustin@vreelandassociates.us)  
WEBSITE: [www.vreelandlandsurveying.com](http://www.vreelandlandsurveying.com)  
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**LOCATION:**

PART OF THE FRACTION N1/2 OF SW1/4, NW1/4 OF THE SE1/4, SE1/4 OF THE NE1/4, AND ALL OF OUTLOT 1 OF CSM 9015-36-18, ALL IN SECTION 30, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

**VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS**  
6103 DAWN STREET WESTON, WI. 54476  
PHONE NO.: (715) 241-0947  
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## **To: Dustin Vreeland – Green Tree Meadows Preliminary Plat**

The below comments are in response to the updated preliminary plat submitted to me and William Hebert, Zoning Administrator on May 13, 2024 showing the locations of the nineteen (19) large trees to be preserved per city code 21.16.010. It appears that the location of the nineteen (19) trees were overlayed upon the existing plan and illustrates conflicts with roads and potential pad locations if no design changes are made. Developer must make alterations to the plan to show due regard was given to the preservation of natural features such as large trees, watercourses, wetlands, historical and similar features prior to the approval of the final plat to adhere to the ordinances within this memo.

The following items are to be completed prior to the approval of the final plat as a condition of approval of the preliminary plat:

To comply with Section 21.16.010 of the Municipal Code – Preservation of Natural and Cultural Features:

- All reasonable steps shall be taken in the final plat design to preserve and retain the nineteen (19) marked and notated trees. Developer shall indicate why a tree cannot be retained.
- Any of the nineteen (19) tree(s) requiring removal shall be replaced at 1" caliper per 1" diameter of removed tree. Example: A 20" diameter tree shall be replaced with 20" of approved nursery stock measured as tree caliper.
- A list of all replacement tree species, cultivars and sizes shall be provided to and approved by the City Forester prior to planting.
- All replacement trees shall be planted within the Green Tree Meadows subdivision, in the City of Wausau's rights-of-way (ROW) at sites selected and approved by the City Forester.
- All replacement trees shall be between 1.75" and 2.5" caliper.
- All replacement trees shall be procured from a licensed nursery.
- Tree must be planted at the time each lot is landscaped
- All replacement trees shall have a 1-year warranty from planting date.
- Trees must be protected, removed or planted per the Wausau Tree Planting and Preservation manual

To comply with Section 23.10.42 of the Municipal Code - Woodland Overlay Zoning District:

- Contractor shall make reasonable effort to retain contiguous woodland areas. Rear lot areas where construction is not likely to occur should be retained in woodland.
- Developers must submit a detailed site analysis per Section 23.10.42 of the Municipal Code to identify Woodland Overlay Zoning District. Woodlands are areas of trees whose combined canopies cover a minimum of 70 percent of an area of one acre or more, as shown on the most recent available air photos for the City of Wausau and its environs. This Woodland overlay Zoning District can be depicted by showing the outer edges of all



natural resource areas as defined by this ordinance (i.e. floodplains, shorelands, wetlands, drainageways, woodlands, steep slopes).

- Per Section 23.02.94 cutting of up to 30% of the woodland area could be approved on a site plan, general development plan, preliminary plat or certified survey map.

John Kahon

Wausau City Forester

Board Certified Master Arborist OH-0972B

***STAFF REPORT TO INFRASTRUCTURE AND FACILITIES  
COMMITTEE – May 9, 2024***

**AGENDA ITEM**

Discussion and possible action on dedication of right-of-way at 404 Franklin Street

**BACKGROUND**

The YMCA foundation is proposing angled parking stalls along Franklin Street and 4<sup>th</sup> Street. The angled parking stalls would remove the existing sidewalk. In order to construct new sidewalk to maintain a public walk, the YMCA Foundation is proposing to dedicate the right-of-way shown on the attached CSM.

**FISCAL IMPACT**

The land would be dedicated with no cost to the City.

**STAFF RECOMMENDATION**

Staff recommends accepting the right-of-way dedication if this committee agrees with the angled parking concept to add additional on-street parking.

Staff contact: Allen Wesolowski 715-261-6762



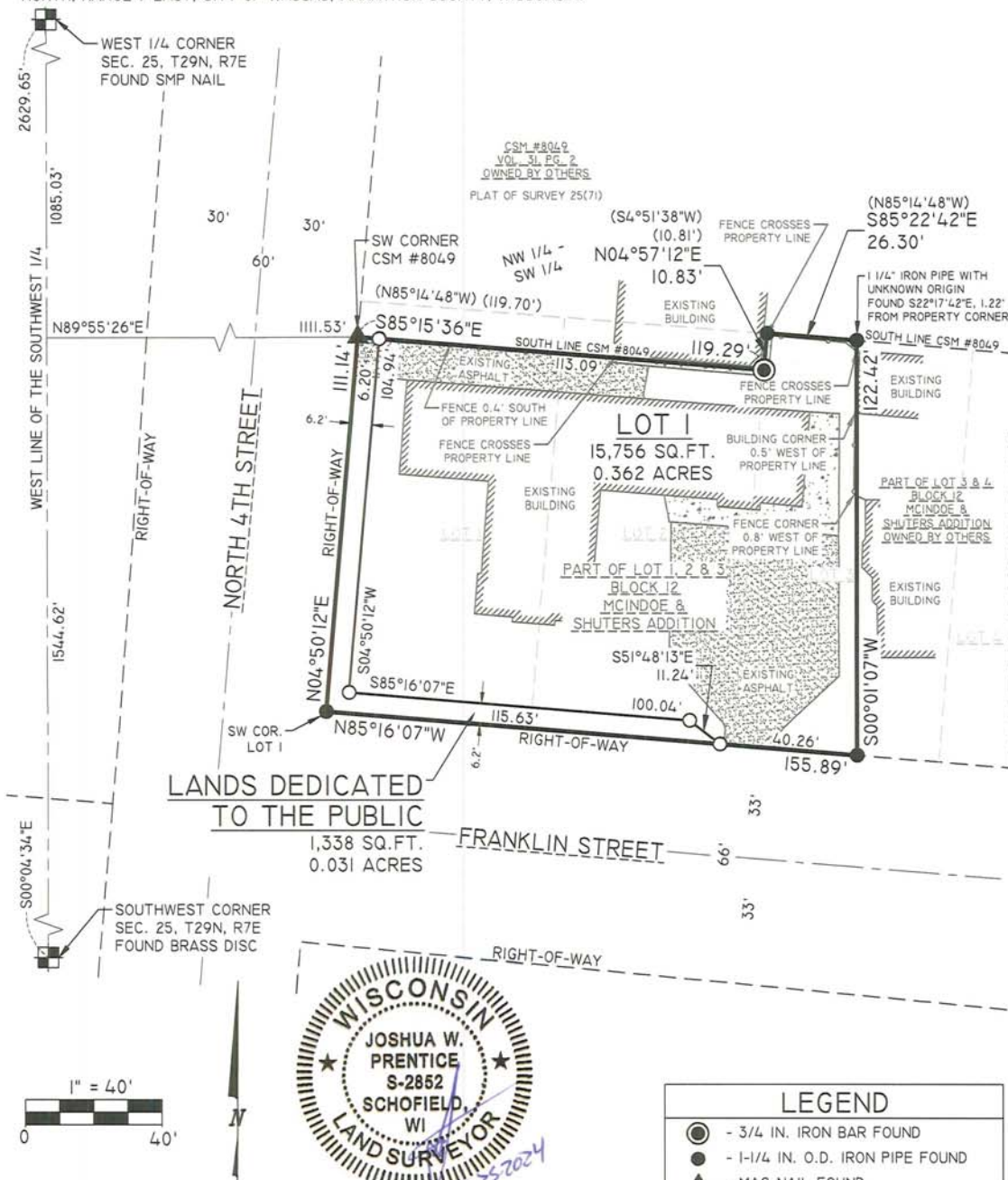
MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO.

PREPARED FOR: WOODSON YMCA FOUNDATION INC.

LANDOWNER: WOODSON YMCA FOUNDATION INC.

PART OF LOT 1, 2, AND 3 OF BLOCK 12 OF MCINDOE & SHUTERS ADDITION, RECORDED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.



NOTES:

1. FIELD SURVEY WAS COMPLETED ON 04-08-2024.
2. BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM, NAD 83(2011) DATUM AND REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, MEASURED TO BEAR SOUTH 00°04'34" EAST.
3. RIGHTS-OF-WAY SHOWN ARE BASED ON SURVEYS OF RECORD.

| LEGEND  |                                                                       |
|---------|-----------------------------------------------------------------------|
| ●       | - 3/4 IN. IRON BAR FOUND                                              |
| ●       | - 1-1/4 IN. O.D. IRON PIPE FOUND                                      |
| ▲       | - MAG NAIL FOUND                                                      |
| ○       | - 1-1/4 IN. O.D. X 18 IN. IRON PIPE<br>WEIGHING 1.68 LBS/LIN. FT. SET |
| (126' ) | - RECORDED BEARING/LENGTH                                             |
| 126.00' | - MEASURED BEARING/LENGTH                                             |

SHEET 1 OF 3

**REI**CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING  
4080 N. 20TH AVENUE, WAUSAU, WI 54401  
(715) 675-9784**MARATHON COUNTY CERTIFIED SURVEY MAP**

MAP NO. \_\_\_\_\_

PREPARED FOR: WOODSON YMCA FOUNDATION INC.LANDOWNER: WOODSON YMCA FOUNDATION INC.PART OF LOT 1, 2, AND 3 OF BLOCK 12 OF MCINDOE & SHUTERS ADDITION,  
RECORDED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; LOCATED  
IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29  
NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.SURVEYOR'S CERTIFICATEI JOSHUA W. PRENTICE, WISCONSIN PROFESSIONAL LAND SURVEYOR S-2852, DO HEREBY CERTIFY TO THE BEST OF MY  
KNOWLEDGE AND BELIEF: THAT I HAVE SURVEYED, DIVIDED, AND MAPPED PART OF LOT 1, 2, AND 3 OF BLOCK 12 OF MCINDOE &  
SHUTERS ADDITION, RECORDED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; LOCATED IN THE NORTHWEST 1/4 OF  
THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN,  
MORE PARTICULARLY DESCRIBED AS FOLLOWS:COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 25; THENCE SOUTH 00°04'34" EAST, COINCIDENT WITH THE WEST  
LINE OF SAID SOUTHWEST 1/4, 1085.03 FEET; THENCE NORTH 89°55'26" EAST, 1111.53 FEET TO THE SOUTHWEST CORNER OF  
CERTIFIED SURVEY MAP NUMBER 8049, RECORDED IN VOLUME 31, ON PAGE 2, AS DOCUMENT NUMBER 1027775, FILED IN THE  
MARATHON COUNTY REGISTER OF DEEDS OFFICE, THE EAST RIGHT-OF-WAY LINE OF NORTH 4TH STREET, AND THE POINT OF  
BEGINNING; THENCE SOUTH 85°15'36" EAST, COINCIDENT WITH THE SOUTH LINE OF SAID CERTIFIED SURVEY MAP NUMBER  
8049, 119.29 FEET; THENCE NORTH 04°57'12" EAST, COINCIDENT WITH SAID SOUTH LINE OF CERTIFIED SURVEY MAP NUMBER  
8049, 10.83 FEET; THENCE SOUTH 85°22'42" EAST, COINCIDENT WITH SAID SOUTH LINE OF CERTIFIED SURVEY MAP NUMBER  
8049, 26.30 FEET; THENCE SOUTH 00°01'07" WEST, 122.42 FEET TO THE NORTH RIGHT-OF-WAY LINE OF FRANKLIN STREET;  
THENCE NORTH 85°16'07" WEST, COINCIDENT WITH SAID NORTH RIGHT-OF-WAY LINE, 155.89 FEET TO THE SOUTHWEST CORNER  
OF SAID LOT 1 OF BLOCK 12 AND SAID EAST RIGHT-OF-WAY LINE OF NORTH 4TH STREET; THENCE NORTH 04°50'12" EAST,  
COINCIDENT WITH SAID EAST RIGHT-OF-WAY LINE, 111.14 FEET TO SAID SOUTHWEST CORNER OF CERTIFIED SURVEY MAP  
NUMBER 8049 AND THE POINT OF BEGINNING.

THAT SAID PARCEL CONTAINS 17,094 SQUARE FEET, 0.392 ACRES, MORE OR LESS.

THAT I HAVE MADE THIS SURVEY AND MAP THEREOF AT THE DIRECTION OF WOODSON YMCA FOUNDATION INC., OWNER OF SAID  
PARCEL.

THAT SAID PARCEL IS SUBJECT TO EASEMENTS, RESTRICTIONS, AND RIGHTS-OF-WAY OF RECORD.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES, WISCONSIN  
ADMINISTRATIVE CODE A-E7, AND THE SUBDIVISION REGULATIONS OF THE CITY OF WAUSAU.THAT THIS MAP IS A CORRECT AND ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF SAID PARCEL, AND OF THE  
DIVISION THEREOF MADE.DATED THIS 25<sup>TH</sup> DAY OF APRIL 2024REI  
JOSHUA W. PRENTICE  
WI P.L.S. S-2852CITY OF WAUSAU COMMON COUNCIL APPROVAL CERTIFICATE  
RESOLVED, THAT THIS CERTIFIED SURVEY MAP IN THE CITY OF WAUSAU, WISCONSIN,  
IS HEREBY APPROVED BY THE COMMON COUNCIL.

DATE \_\_\_\_\_ APPROVED \_\_\_\_\_

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

**REI**

CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING  
 4080 N. 20TH AVENUE, WAUSAU, WI 54401  
 (715) 675-9784

# MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO. \_\_\_\_\_

PREPARED FOR: WOODSON YMCA FOUNDATION INC.

LANDOWNER: WOODSON YMCA FOUNDATION INC.

PART OF LOT 1, 2, AND 3 OF BLOCK 12 OF MCINDOE & SHUTERS ADDITION,  
 RECORDED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; LOCATED  
 IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 29  
 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.



## CORPORATE OWNER'S CERTIFICATE OF DEDICATION

WOODSON YMCA FOUNDATION INC., A CORPORATION FORMED UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. IN WITNESS WHEREOF, THE SAID WOODSON YMCA FOUNDATION INC. HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRYAN BAILEY, ITS PRESIDENT, AND CHAD KANE, ITS SECRETARY,

AT \_\_\_\_\_, WISCONSIN, AND ITS CORPORATE SEAL HEREUNTO AFFIXED ON THIS \_\_\_\_\_, DAY  
 OF \_\_\_\_\_, 2\_\_\_\_. IN THE PRESENCE OF: WOODSON YMCA FOUNDATION INC.

\_\_\_\_\_ BRYAN BAILEY, PRESIDENT

\_\_\_\_\_ CHAD KANE, SECRETARY

STATE OF WISCONSIN)  
 SS  
 MARATHON COUNTY)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2\_\_\_\_, THE

ABOVE NAMED BRYAN BAILEY, PRESIDENT, AND CHAD KANE, SECRETARY, OF THE ABOVE NAMED CORPORATION TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND TO ME KNOWN TO BE SUCH PRESIDENT AND SECRETARY OF SAID CORPORATION, AND ACKNOWLEDGE THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICERS AS THE DEED OF SAID CORPORATION, BY ITS AUTHORITY.

\_\_\_\_\_ NOTARY PUBLIC  
 STATE OF WISCONSIN

MY COMMISSION EXPIRES \_\_\_\_\_



# STAFF REPORT

**To:** Plan Commission

**Prepared By:** Andrew Lynch, AICP Asst City Planner

**Date:** May 14, 2024

---

## **Safe Routes To School Plan as prepared by North Central Wisconsin Regional Planning Commission**

The City of Wausau and the Wausau School District, in 2019, were awarded Transportation Alternatives Program (TAP) funding for the creation of a Safe Routes To School (SRTS) Plan for eight elementary schools and the two middle schools in the City. The TAP funds are federal dollars administered by the state to build bicycle and pedestrian infrastructure and SRTS programs. North Central Wisconsin Regional Planning Commission was tasked with the plan but was not authorized by WisDOT to start until Spring of 2022. See page 13 of the plan for a full timeline.

The plan incorporates extensive input from students, staff, and parents at each school. Each school has a site assessment, examination of the transportation network, and recommendations based on best practices. Most of the recommendations in the street ROW are signage, markings, and filling some sidewalk gaps. Adoption of this plan would allow staff to plan improvements in a cost-effective manner and coordinate with other projects. It would also allow staff to pursue grant funding related to SRTS. The plan may be further amended in the future to reflect expected building use changes from the School District.

This report is over 200 pages long and can be found [HERE](#)

<https://www.ncwrpc.org/wausau-safe-routes-to-school/>

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## **RFP for North Riverfront Redevelopment Plan**

The City has, over many years, acquired properties north of the Riverlife area along the east side of the river. This includes the Wausau Chemical, Great Lakes Cheese, and County Materials sites. Community Development staff has prepared a Request For Proposal document to solicit for a plan for that area.

RFP is included in the packet.

# **CITY OF WAUSAU REQUEST FOR PROPOSAL**

## **NORTH RIVERFRONT REDEVELOPMENT PLAN 2024**





## City of Wausau North Riverfront Redevelopment Plan Request for Proposal

The City of Wausau is seeking proposals from qualified firms to prepare a North Riverfront Redevelopment Plan. The project area is the next step in the transition of the Wausau riverfront from legacy industrial to a vibrant place to live, work, and play. The study will propose beneficial and complementary mix of uses, layouts, and designs considering social impact.

### ONE – Introduction

The City of Wausau Council formed the River Edge Commission in 1974 which marked the official start of efforts to clean up and change the riverfront from legacy industrial to recreational, residential, and commercial uses. In the 50 years since, there has been steady progress in acquiring properties, remediating environmental contamination, and building the River Edge Parkway. Highlights of these efforts include the creation of the Whitewater Kayak park, the River Edge Trail, the Dudley Tower, and the Riverlife area.

In the past seven years, the City has completed acquisition of properties along the eastside of the north riverfront that are the project area of this plan. This includes sites that formerly housed the businesses Wausau Chemical, Great Lakes Cheese, and County Materials. While in the past the City has entertained proposals for individual parcels, this plan should seek to create a comprehensive vision and guiding principles for development. There are challenges with the environmental remediation needed, constrained parcel size, and limited access. There is also a desire to create an area that is unique and socially impactful when compared to other sections of the riverfront.

The City's Economic Development Committee has concurred with staff on several goals for the area. Those include:

- Lower intensity residential development, avoidant of single family uses.
- Defined commercial corridors and opportunities
- Extending River Drive along the river with improvements to the River Edge Trail
- Environmental remediation considerations and timing
- Improving public access to the riverfront
- Creating multiple opportunities for neighborhood input

## TWO – Maps

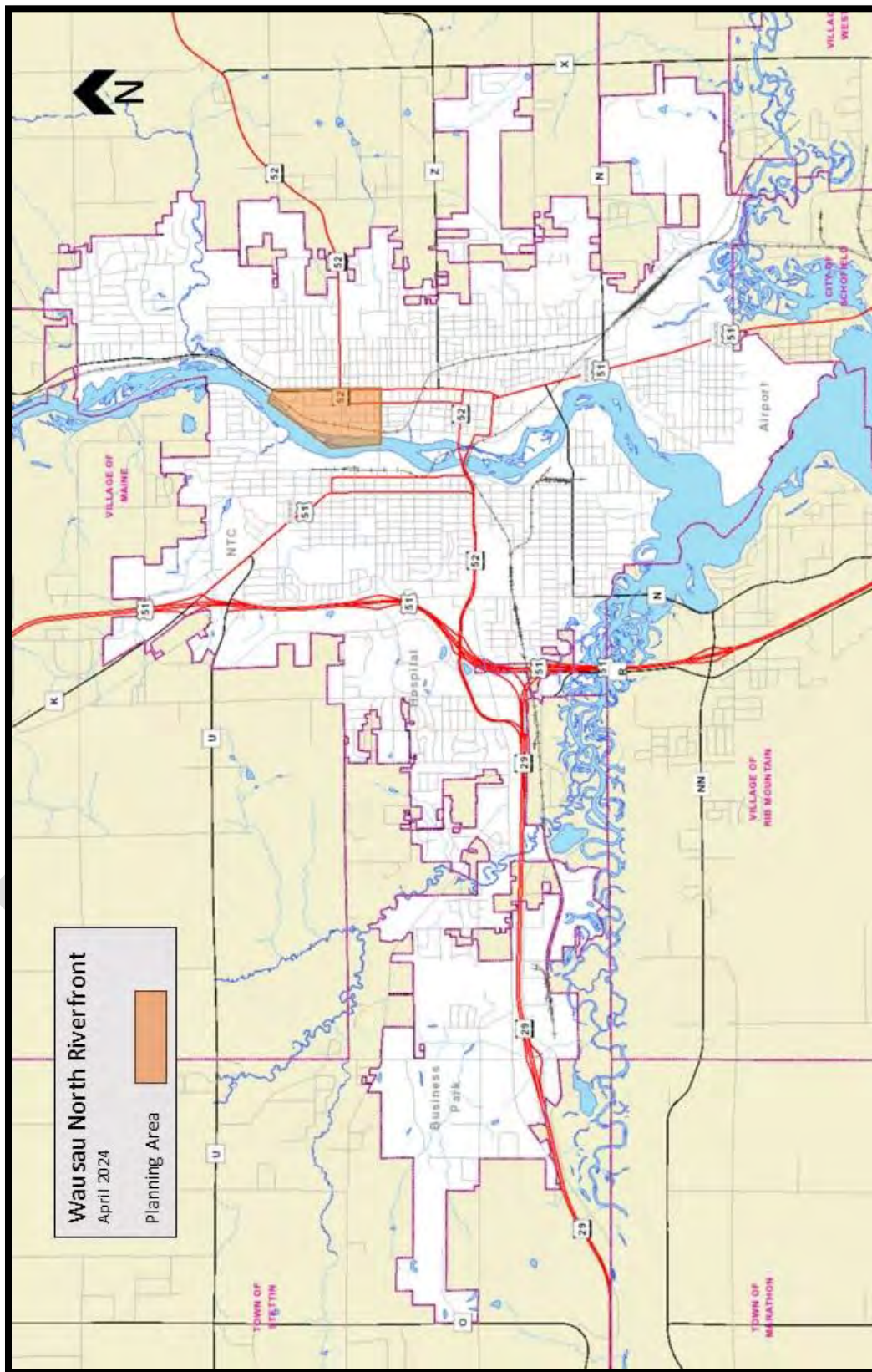


Figure 1. City of Wausau and project area



Figure 2: Plan area and riverfront parcels

## THREE – Supporting Documents

The city has undertaken various plans that may help inform future planning efforts of this area.

[Comprehensive Plan](#)

[Strategic Plan](#)

[Wausau Metropolitan Area Regional Housing Assessment](#)

[River Edge Parkway Master Plan](#)

[South Riverfront Area Master Plan](#)

[East Riverfront Brownfield Plan](#)

## FOUR – Scope of Work

The goal of this plan is to set the foundation for future redevelopment activities and expectations in the plan area. The plan should inform public infrastructure investment to maximize connectivity to the riverfront while reducing impact on the adjoining residential neighborhood. The plan should seek to create new tax base with an appropriate intensity and placement of residential and commercial development.

The City of Wausau Community Development Department will facilitate and manage the study process. The consultant will coordinate with city staff on project management, communication, and information sharing. The city's Economic Development Committee will oversee the process and City Council will approve the final plan. The consultants will need to establish a qualified team to be responsible for carrying out the tasks identified below.

- Determine intensity and placement of residential and commercial development.
- Maximize connectivity to the riverfront and access to the natural river amenities. Analysis of the transportation access to the riverfront parcels and movement within the plan area is necessary to identify public infrastructure needs while reducing impacts to the adjoining residential neighborhood.
- Incorporate input from the surrounding neighborhood throughout the process as well as identified stakeholders.
- Analyze current and future parking needs of the plan area for residents, businesses, recreation, and sports facilities. With accommodation of existing parking agreements to the Wausau Woodchucks organization.
- Examine the need to move or otherwise change any public or private utilities.
- Identify potential signature uses and/or social impact projects to help distinguish the area from other sections of the riverfront.

## FIVE – Deliverables

A comprehensive strategy that details immediate and future opportunities as well as location and intensity of development.

Development of guiding principles for North Riverfront development.

Identification of public infrastructure changes or updates needed.

Project phasing and identification of potential funding sources.

Feasibility and projected cost estimates for major private utility changes.

Transportation components with circulation, accessibility, and parking scenarios.

Site plans and illustrative drawings that will depict general themes, inform development partners, and the public.

## SIX - Budget

Consultants should provide a total cost to prepare the plan including hourly rates and estimated number of hours to complete the project. All expenses associated with the project including all travel and incidental costs should not exceed \$100,000.

## SEVEN - Request for Proposal Process

This RFP seeks the submission of proposals to provide services from any and all interested and qualified consultants. The City of Wausau seeks, by way of this RFP, to obtain services in a manner that maximizes the quality of services while also maximizing value to the City. Consultants must be able to show they are capable of performing the services requested. Such evidence includes, but is not limited to, the respondent's demonstrated competency and experience in delivering services of a similar scope and type, and the local availability of the consultant's personnel.

The RFP response must be submitted electronically to [andrew.lynch@ci.wausau.wi.us](mailto:andrew.lynch@ci.wausau.wi.us) by 4:00 p.m. Central Standard Time on **June 28, 2024**.

All responses must be received by the stated date and time in order to be considered for award. The City will not be responsible for and may not accept late proposals.

By submitting a proposal, each consultant certifies that its submission is not the result of collusion or any other activity which would tend to directly or indirectly influence the selection process. The proposal will be used to determine the consultant's capability of rendering the services to be provided. The failure of a consultant to comply fully with the instructions in this RFP may eliminate its proposal from further evaluation as determined in the sole discretion of the City. The City reserves the right to evaluate the contents of proposals submitted in response to this RFP and to select a consultant, if any.

Proposals received late may not be opened or given any consideration for the proposed services unless doing so is deemed to be in the best interest of the City.

### A. PROPOSAL SUBMISSION REQUIREMENTS

Submit one (1) complete electronic (PDF) version of your proposal and any required attachments to the City electronically to [andrew.lynch@ci.wausau.wi.us](mailto:andrew.lynch@ci.wausau.wi.us) by 4:00 pm on **06/28/2024**

### B. CONTACT INFORMATION

Provide a signed one-page sheet on your letterhead that includes the address, telephone number, and e-mail address of the contact person(s) and authorized signatories. List the name and title of each person authorized to represent the consultant in negotiations.

C. COVER LETTER

Provide a signed one-page cover letter on your letterhead that outlines the reason for interest in this project, any special qualifications, and a short description of the proposal.

Specified Content And Sequence Of Information In The RFP

Each proposal should include sections addressing the following information in the order shown in the following section. The consultant should be sure to include all information that it feels will enable the evaluation committee and, ultimately, the City to make a decision. Failure of the consultant to provide specific, detailed information may result in its proposal being rejected in favor of a sufficiently-detailed proposal. Any necessary exhibits or other information, including information not specifically requested by this RFP but that you feel would be helpful, should be attached to the end of the proposal.

D. QUALIFICATIONS AND EXPERIENCE:

1. Provide a statement of qualifications for your organization, a statement of the size of firm, a description of services provided by your organization, any DEI-B policy, any relevant vision or core values statements, and a statement of the extent of experience/history providing the services requested by this RFP.
2. How many full time employees (FTEs) do you plan to assign to this project if you are selected? Identify each assigned employee's role on the project and designate the main contact for the project.
3. How many people in total are employed by your company? Delineate between employees and
  - a. sub-consultants.
4. If applicable, list the professional qualifications for each individual that would be assigned to provide services requested by this RFP, including date and educational institutions of any applicable degrees, additional applicable training, and any professional certifications and/or licensing. In lieu of listing this information, you may submit a resume or curriculum vitae for each such individual if the resume/CV includes all the requested information.

E. PROPOSED APPROACH:

This section describes your proposed approach for meeting the services required by the City, as listed above. Relevant considerations include the quality and feasibility of your approach to meeting these needs, the manner in which you plan to provide adequate staffing (if applicable), and equipment or other resources provided by you (if applicable). Keep these considerations in mind as you respond to the following:

1. Describe how you will fulfill the needs of the City described in this RFP. Attach a project plan, if appropriate.
2. List your needs for physical space and/or equipment at the City during this engagement, if any, aside from space or equipment that would be provided by the City as an obvious aspect of the requested services (for example, computers to document services, etc.).
3. Identify how you will meet all other aspects of the scope of work and related requirements stated above. List any items that you cannot provide.
4. Estimate the number of meetings included in the proposed project budget.
5. Cost Analysis and Budget for Primary Services:
6. Provide an itemized budget and a detailed explanation for all costs associated with providing the requested services.

7. Is travel time to the city of Wausau or other locations expected to be billable? If so, how will travel time invoices be calculated?
8. Include start-up costs if any.

F. CLAIMS, LICENSURE AND NON-DISCRIMINATION VIOLATIONS AGAINST YOUR ORGANIZATION:

List any current licensure or non-discrimination claims against you/your organization and those having occurred in the past five years, especially any resulting in claims or legal judgments against you.

G. WORK SAMPLES AND REFERENCES:

List at least three business references for which you have recently provided similar services and associated projects. Include contact names, titles, phone numbers and e-mail addresses for all references provided. Also provide any work samples you feel are representative of your work on a similar project.

H. PROPOSAL EVALUATION

All proposals received will be evaluated by an RFP evaluation committee. During the evaluation process, the City may require a consultant's representative to answer specific questions orally and/or in writing.

Once a finalist or group of finalists is selected, additional interactions or information may be required.

The RFP evaluation committee will select the firm that it determines is most likely to deliver a feasible, quality product. Selection will be based on the overall strength of each proposal, and the evaluation is not restricted to considerations of any single factor, such as cost.

The criteria used as a guideline in the evaluation will include, but not be limited to, the following:

1. Qualifications and experience of the firm, including capability and experience of personnel to be employed on this project.
2. Proposed approach, including clarity of understanding of the scope of services to be provided and appropriateness of the proposed solution/services.
3. Demonstrated history of successfully performing related services to comparable entities.
4. Cost for the services described by this RFP and the value provided to the City.
5. The evaluation committee may consider any other criteria it deems relevant, and the evaluation committee is free to make any recommendations it determines to be in the best interest of the City. Inaccuracy of any information supplied within a proposal or other errors constitute grounds for rejection of the proposal.

Note that the City reserves the right to evaluate proposals solely based on each provider's written submission. In relation to written materials, evaluation will be performed only on the material included directly in the proposal itself unless otherwise indicated or requested by the City. The City reserves the right to select proposals other than those with lowest costs.

I. ADDITIONAL TERMS AND CONDITIONS

The City reserves the right to accept or reject any or all proposals or portions thereof without stated cause. Upon selection of a finalist, the City by its proper officials shall attempt to negotiate and reach a final agreement with the finalist. If the City, for any reason, is unable to reach a final agreement with this finalist; the City then reserves the right to reject such finalist and negotiate a

final agreement with another finalist who has the next most viable proposal. The City may also elect to reject all proposals and issue a new RFP.

The City is not bound to accept the proposal with the lowest cost, but may accept the proposal that demonstrates the best abilities and qualifications to meet the needs of the City. The City reserves the right to waive any formalities, defects, or irregularities, in any proposal, response, and/or submittal where the acceptance, rejection, or waiving of such is in the best interests of the City.

DRAFT