



OFFICIAL NOTICE & AGENDA
REGULAR MEETING

MEETING:	Building Advisory Board	MEMBERS:	
DATE/TIME:	Wednesday, February 11, 2026 at 4:00 PM	Eric Lindman (C)	Buckley Birkholz
LOCATION:	Wausau City Hall – Council Chambers 407 Grant Street, Wausau WI, 54403	Dave Brandenburg	Mark Dillman
		Frank Opatik	Melody Hamlin
		Chad Henke	Tom Neal
		Shahn Kariger	

1 Consideration of the minutes of the preceding meeting(s).

December 10, 2026 Regular Building Advisory Board Minutes

2 Public Hearing

- a. The appeal of Sam McLellan, contractor at 219 Freedom Way, requesting approval for a detached 1750 square foot garage.

3 Discussion and possible action

- a. Regarding the detached garage at 219 Freedom Way.

4 Adjournment.

**NOTICE POSTED AT CITY HALL (407 GRANT STREET) AND
TRANSMITTED TO THE OFFICIALLY DESIGNATED NEWSPAPER**

DATE: 02/04/2026
TIME: 1:00
POSTED BY: Lea Wilde

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the ADA Coordinator at (715) 261-6622 or ADAServices@wausauwi.gov to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the City of Wausau will make a good faith effort to accommodate your request.



City of Wausau
(715) 261-6500 | clerk@wausauwi.gov
wausauwi.gov



BUILDING ADVISORY BOARD

Time and Date: Wednesday, December 10, 2025 at 4:00 p.m. in the Council Chambers at Wausau City Hall
Members Present: Eric Lindman, Mark Dillman, Frank Opatik, Melody Hamlin, Tom Neal, Chad Henke, Dave Brandenburg
Others Present: William Hebert

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Eric Lindman called the meeting to order at approximately 4:00.

Review minutes of the October 8, 2025, meeting

Motioned to approve by Neal. Second, by Brandenburg. Minutes approved 7-0

Public hearing the appeal of Troy Engman, for a 1400 square foot attached garage at 208/214 Wyatt St

Troy Engman, 208/214 Wyatt St, Wausau, WI 54401. Wants to build a house and garage on the property. The garage he wants to build is bigger than allowed. Needs it for extra storage space, as there will not be a basement. He has a boat and truck that need to be kept inside as well as other things to keep the area looking better.

Lindman closed the public hearing.

Dillman asked what the ceiling height would be.

Engman stated that the home would have 12-foot ceilings and the garage would be kept up as high as he could to make a loft in the back for extra storage.

Opatik asked about the grade beam and if there were reinforcements in there. Recommended that it is designed because it is a tall building with a large load on it.

Neal asked regarding the size of the garage if it is out of the ordinary.

Hebert stated that from a staff perspective there is not an issue with the size of the garage because the lot size is larger and there are a couple of larger garages in the area.

Neal motioned to approve and 2nd by Dillman. Approved 7-0

Adjournment The meeting adjourned at 4:08



CITY OF WAUSAU
DEPARTMENT OF INSPECTION AND ZONING
City Hall, 407 Grant Street, Wausau, WI 54403-4783
(715) 261-6780 / fax (715) 261-4102

BUILDING ADVISORY BOARD APPLICATION

KEY/PARCEL #: _____

PROPERTY ADDRESS: _____

OWNER/AGENT: _____ PHONE #: _____

MAILING ADDRESS: _____ EMAIL: _____

CITY: _____ STATE: _____ ZIP: _____

SPECIFICATIONS

Home Square Footage (including basement): _____

Existing Garage square footage: _____

Other storage buildings: _____

Proposed garage size and height (including site plan elevation) _____

Note: garage should be architecturally comparable to home; finish materials, roof pitch, etc.

Narrative describing need for garage and proposed uses:



STAFF REPORT

To: Building Advisory Board

Prepared By: William Hebert, Chief Inspector & Zoning Administrator

Date: January 30, 2026

GENERAL INFORMATION

OWNER / APPLICANT: Murch / McLellan

LOCATION: 215 Freedom Way, Wausau

EXISTING ZONING: SR-2

PURPOSE: Total Garage Space exceeds 1200 sq. ft.

EXISTING LAND USE: Single family home

SIZE OF PARCEL: 215/219 Freedom Way combined 1.71 acres

BUILDING SIZE INFORMATION:

The current home is about 3700 square feet of living space. The existing attached garage is 1274 square feet.

OVERSIZED GARAGE REQUEST:

The owners wish to build a detached garage on the second lot they own on Freedom Way. If approved, the lots will need to be combined as one before a building permit can be issued.

The garage is proposed for some hobbies of the owners and extra storage for the home. The owners wish to keep the existing trees.



POSSIBLE ACTION

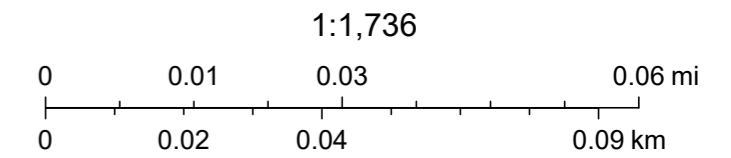
- Approve as proposed
- Deny

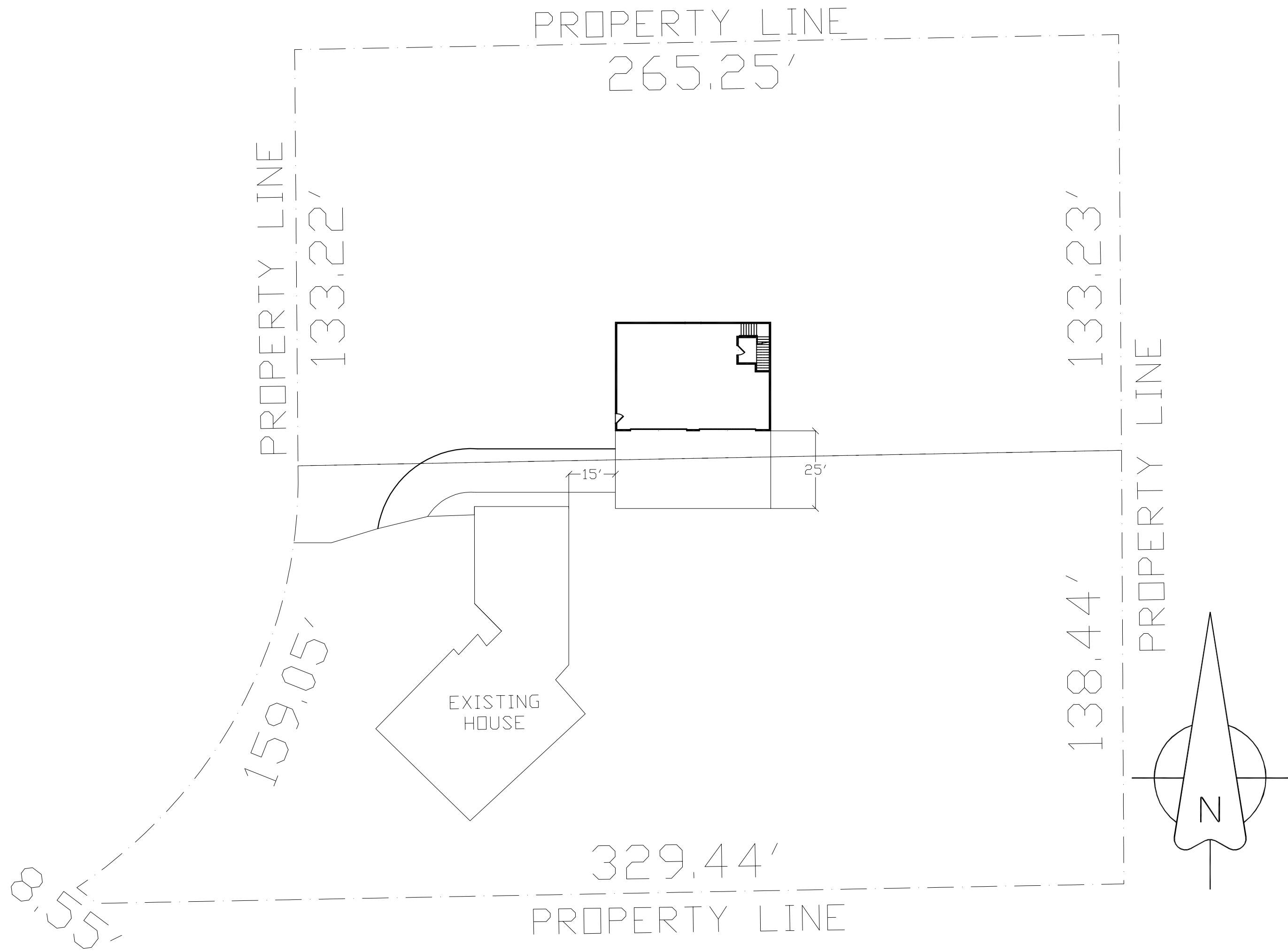
ArcGIS Web Map

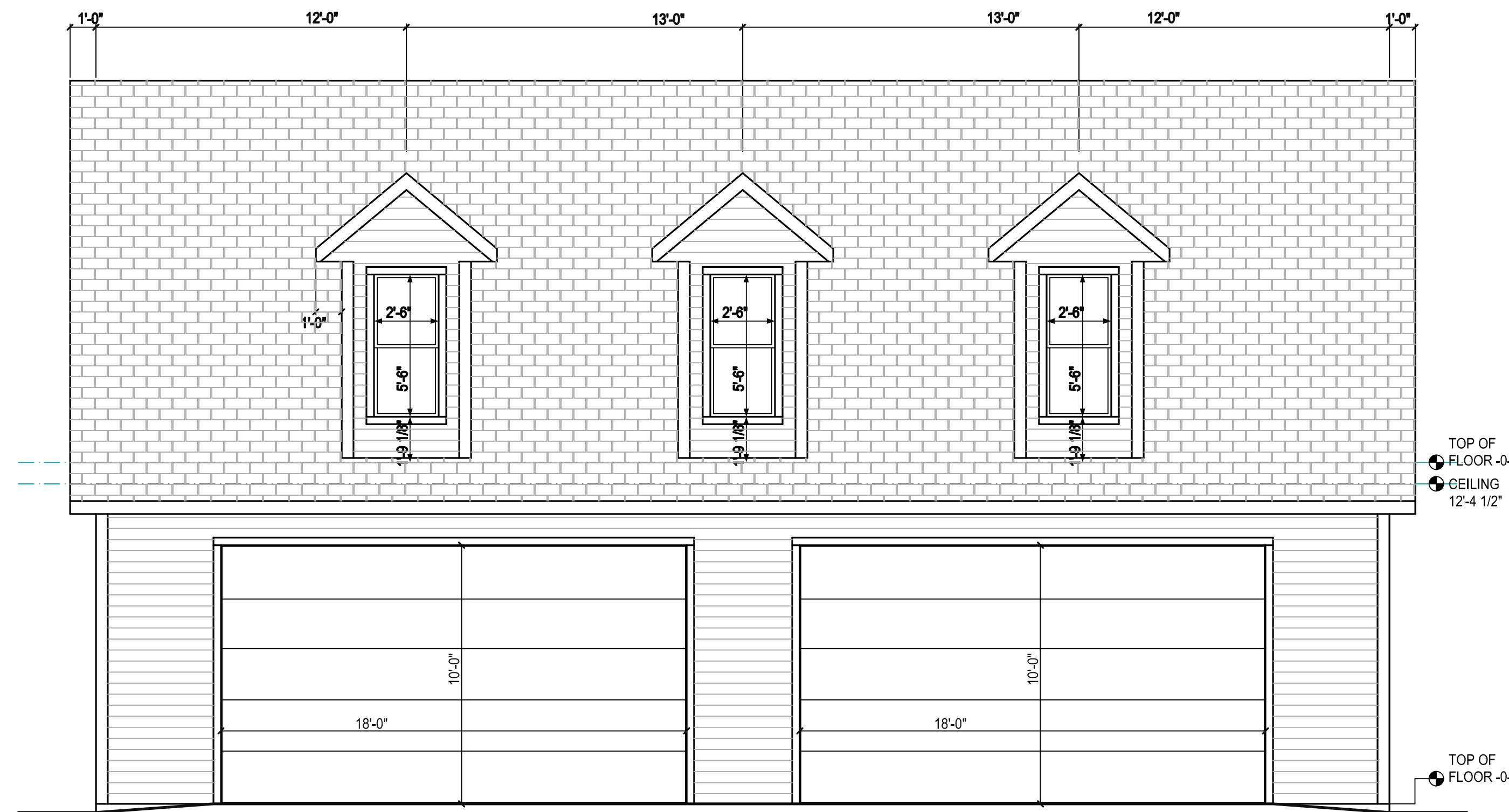


1/30/2026, 11:09:04 AM

-  Parcel
-  Address Point
-  Right Of Way



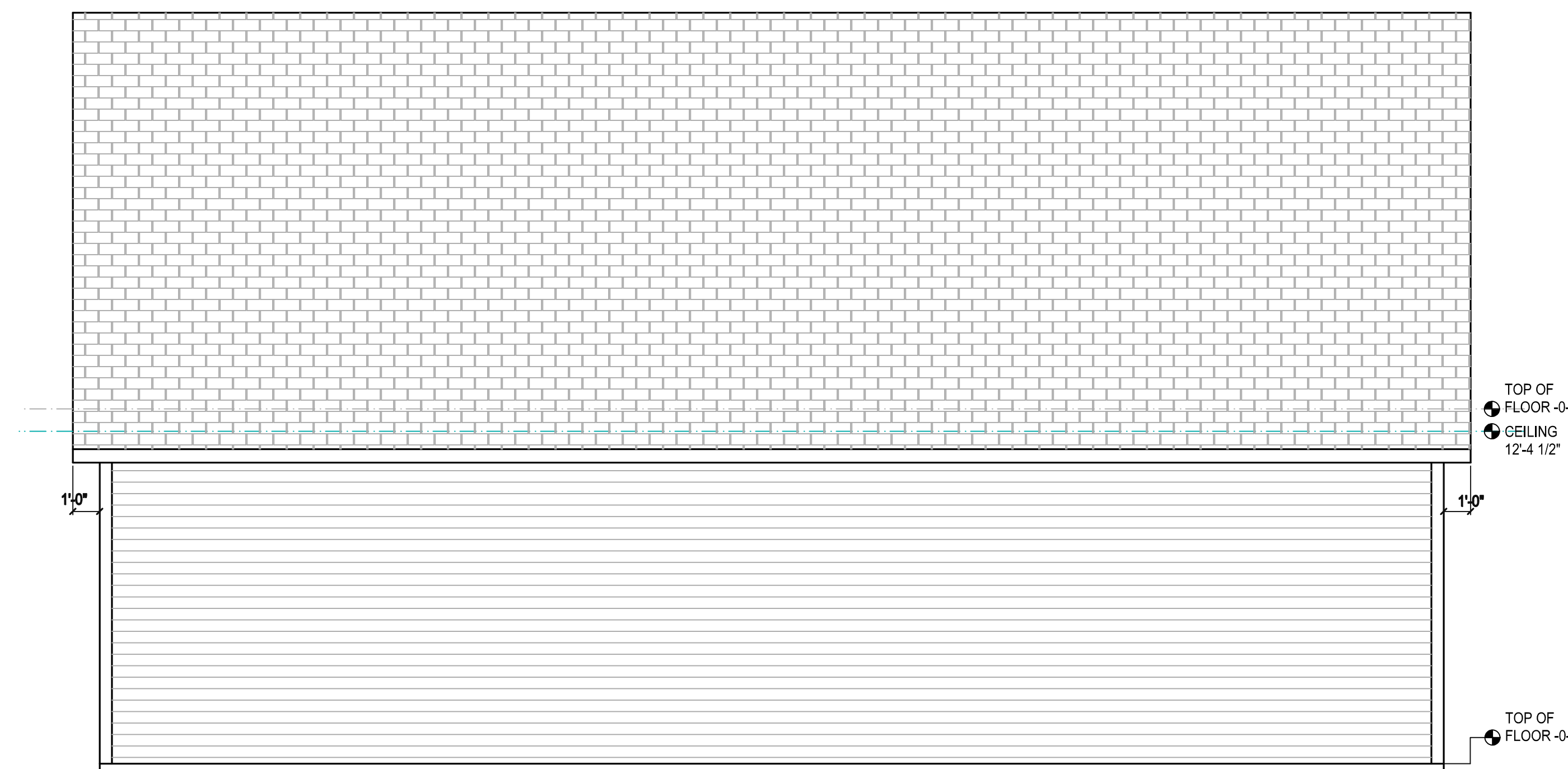




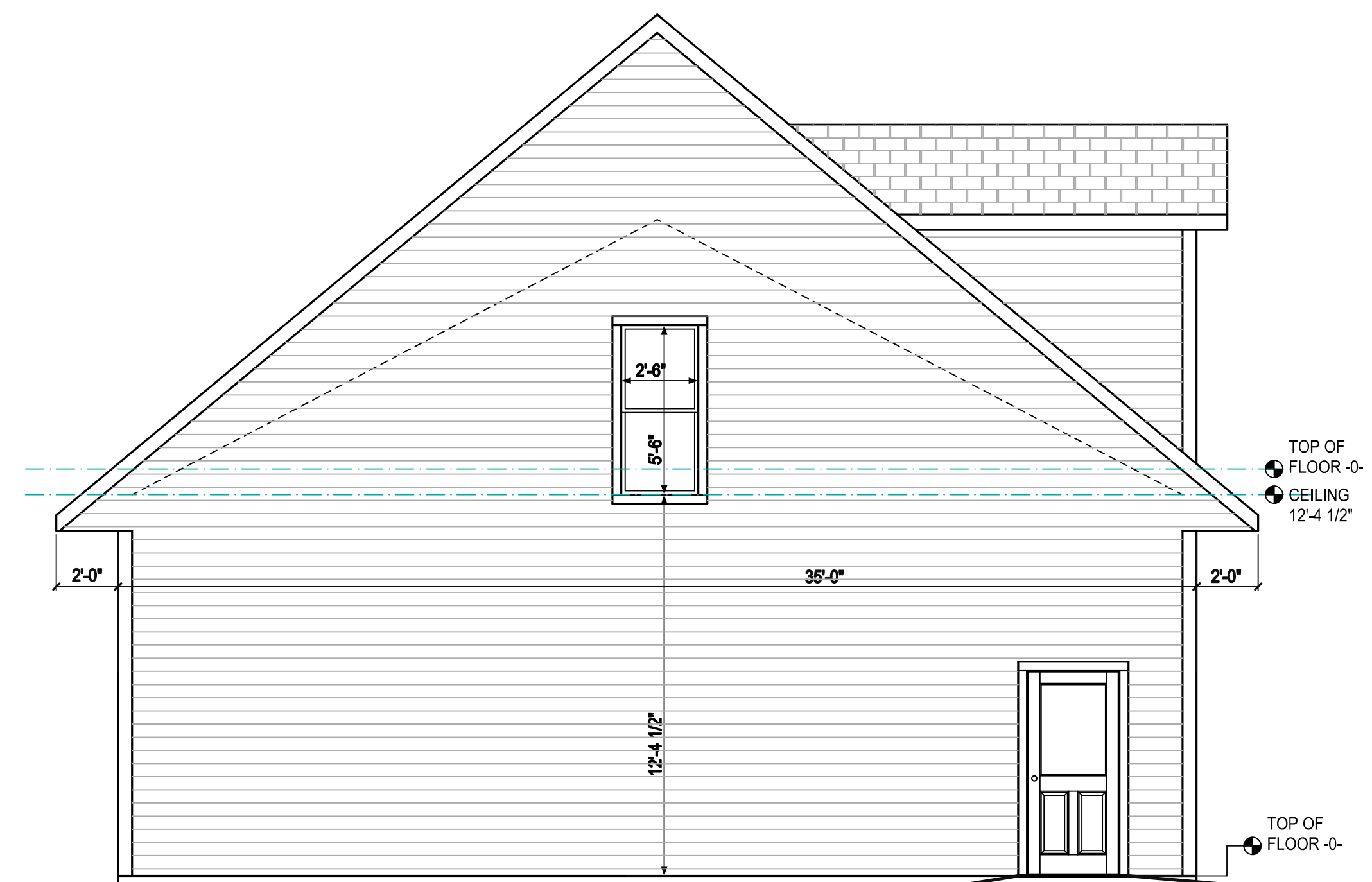
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

Final Plans Approved by Client

Sign: _____ Date: _____

WOODBURY CUSTOM HOMES
 1951 Woodbury Parkway, Wausau, WI 54403
 Amanda 715-212-3643, Sam 715-302-4124
 woodburycustomhomes.com

JOB NAME

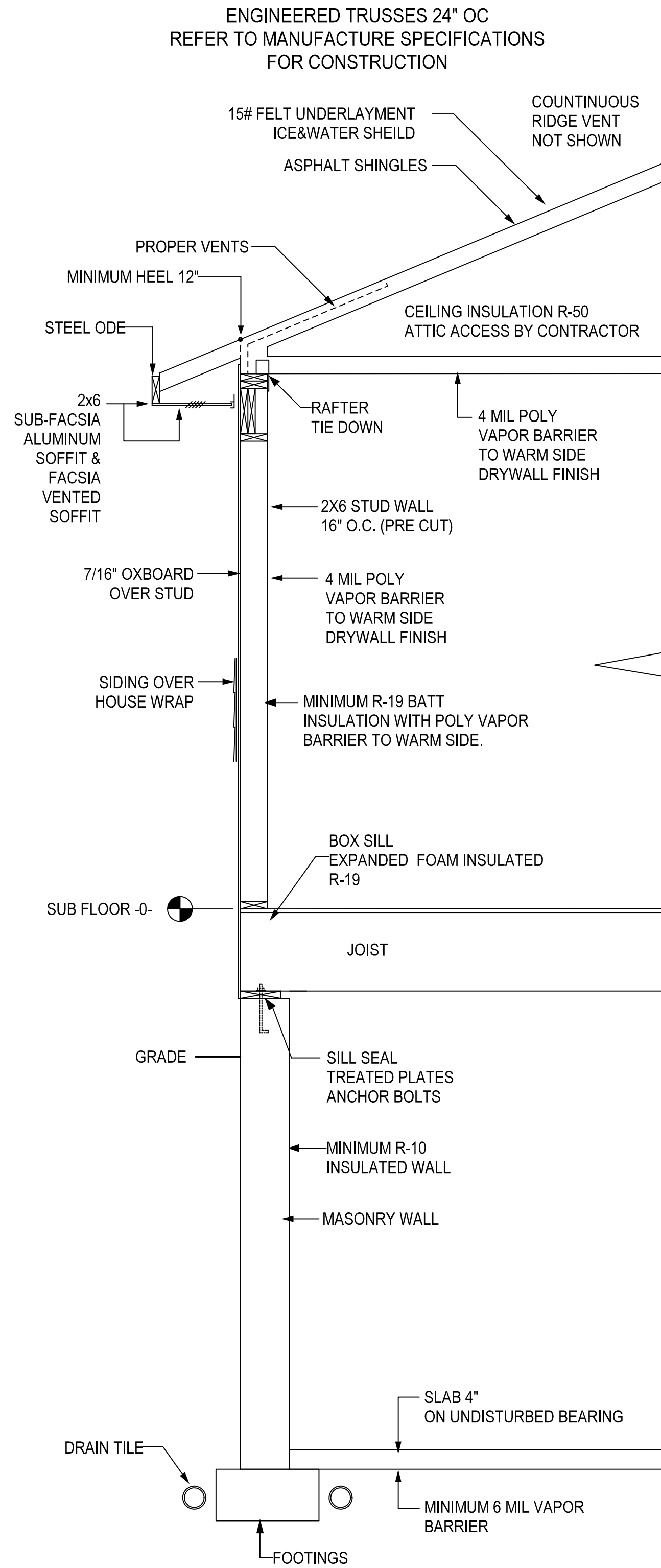
MURCH GARAGE

LEGAL NOTE:
 THE GENERAL CONTRACTOR / OWNER AGREE THAT, BY PAYING FOR THIS PLAN, THE DESIGNER HAS MADE EVERY EFFORT IN PREPARING AND CHECKING THE PLAN FOR ACCURACY. IT IS ALSO AGREED THAT THE GENERAL CONTRACTOR / OWNER MUST REVIEW ALL DIMENSIONS AND STRUCTURAL DETAILS BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

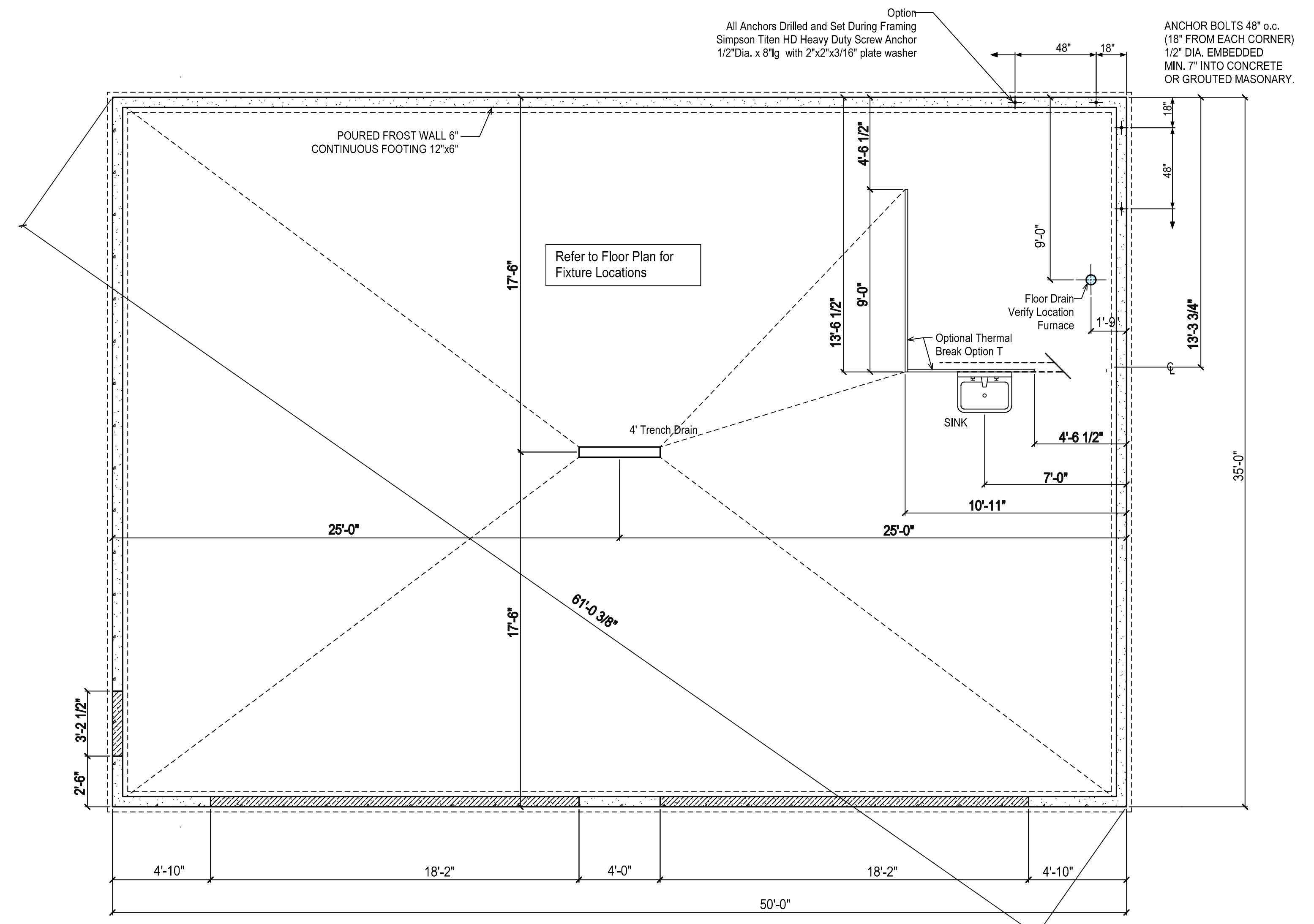
DATE:
12/16/2025
 PROJECT #

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JB

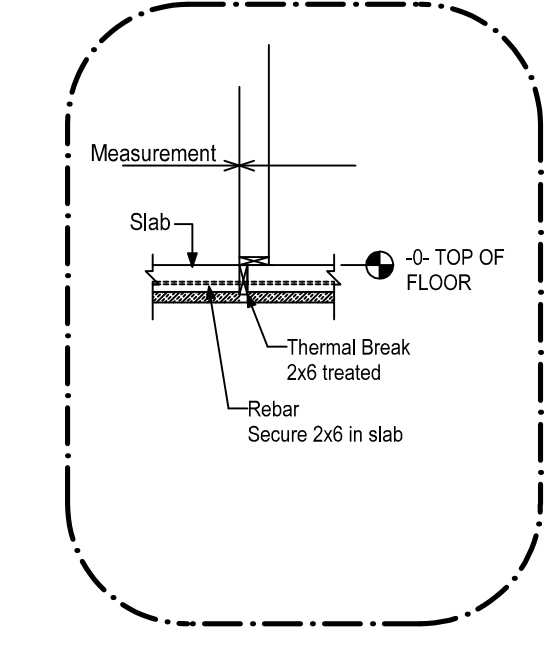
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1 OF 5



GENERAL CROSS SECTION



FOUNDATION PLAN



DETAIL T THERMAL BREAK

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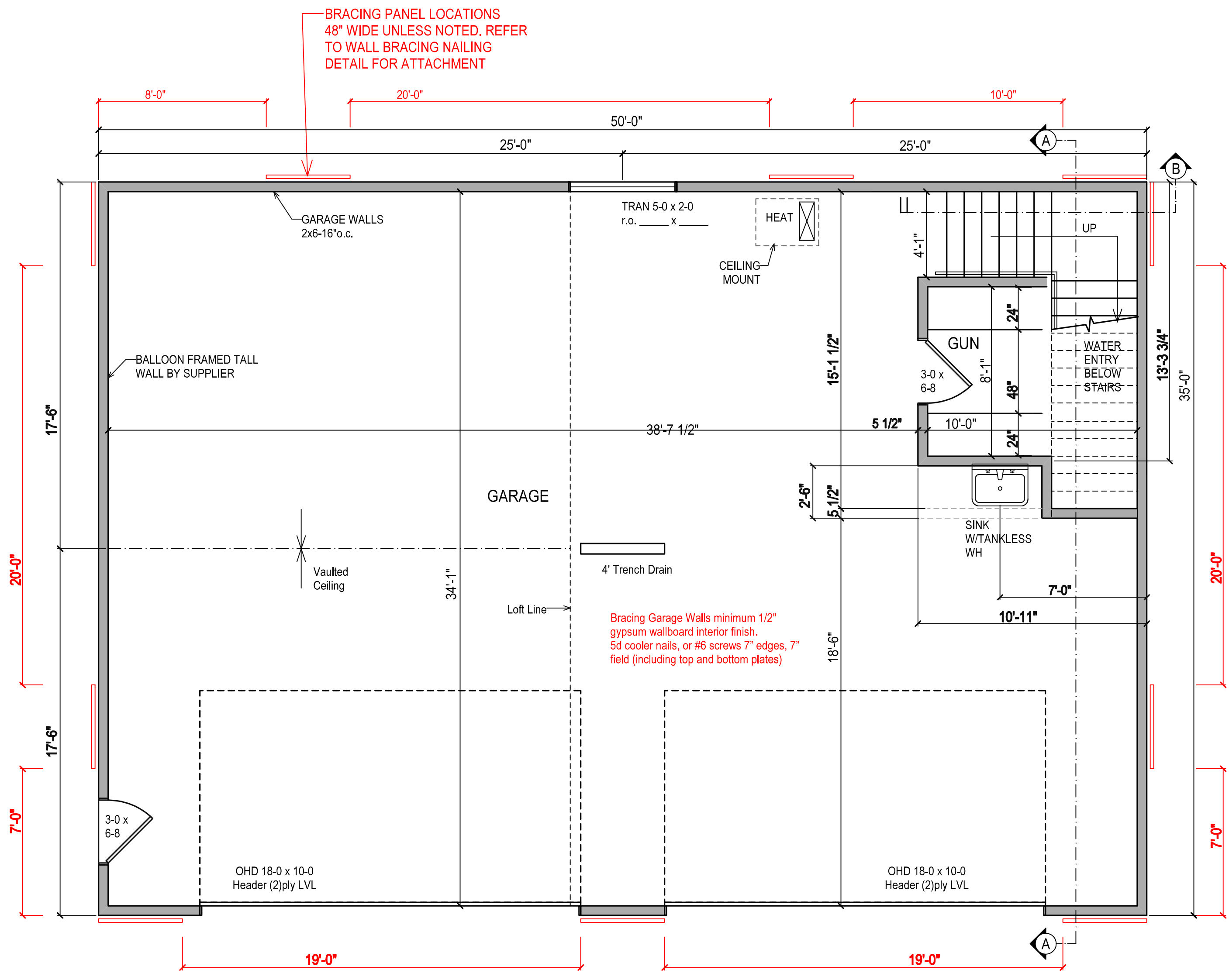
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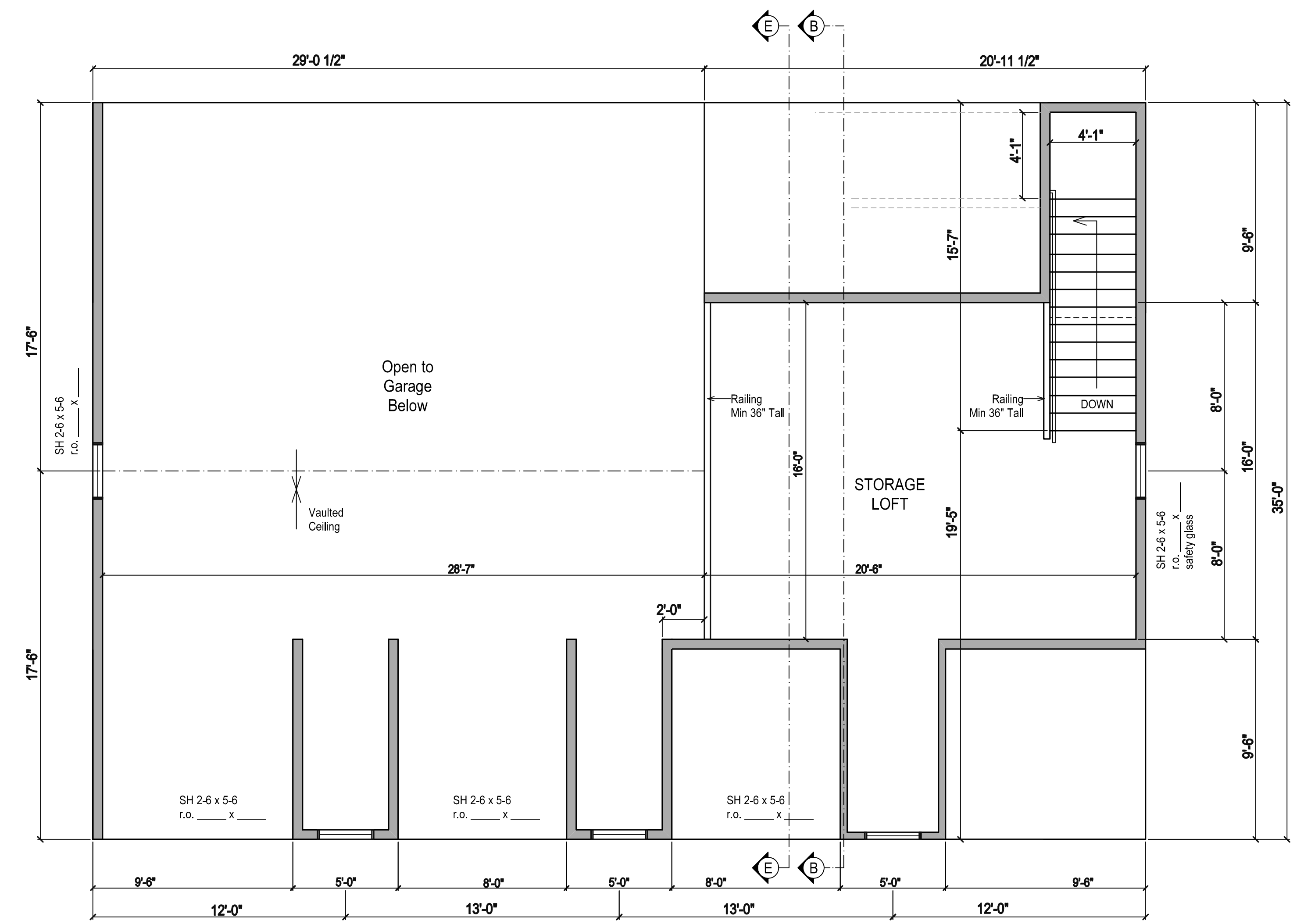
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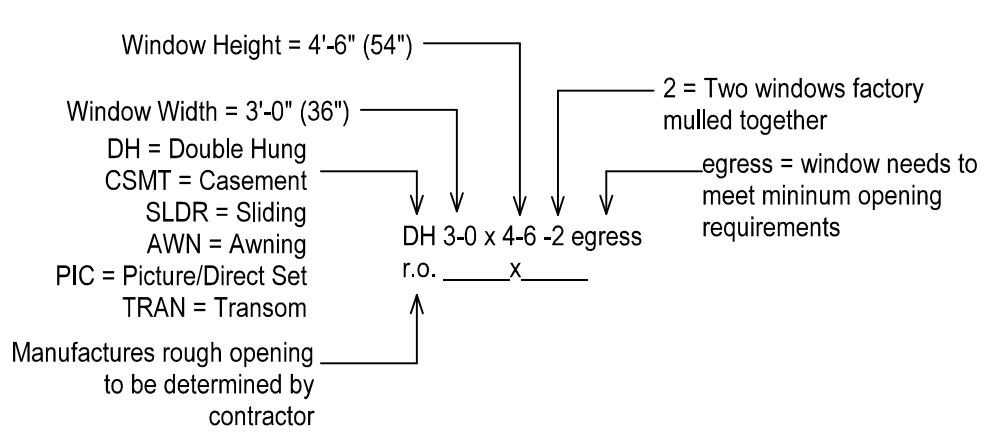


MAIN FLOOR PLAN

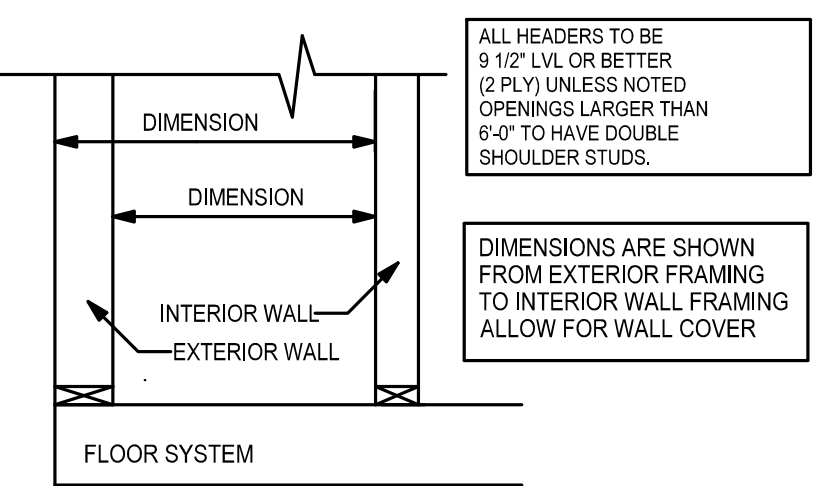
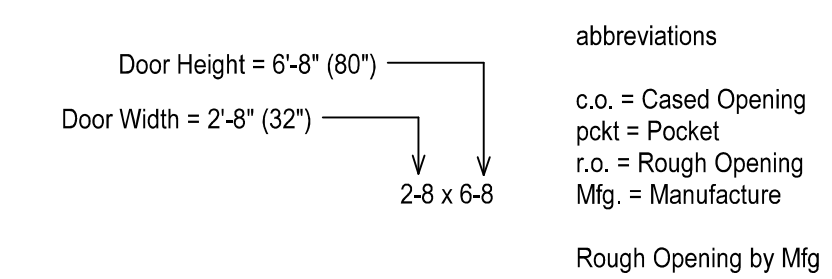


UPPER LEVEL PLAN

WINDOW SIZING



DOOR SIZING



DIMENSION DETAIL
NOT TO SCALE

- General Notes:
- Contractor to verify all door r.o. with door supplier.
 - Liability: Owner and Contractor are Responsible for Maintaining all Building Codes.
 - General Contractor to Verify all Existing Conditions and Dimensions on Job Site Prior to Construction. Any Discrepancies Shall be Brought to the Designers attention Immediately.
 - All Site Preparations and Grade Verification Responsibility of Owner and Contractor.
 - Reinforcement and Frost Protection by Mason
 - Wall Bracing, Shear Wall, and Tall Wall by Contractor
 - Provide Masonry Control Joints, Maximum 12'-0" in both directions
 - Plumbing and Electrical Fixture Locations by other

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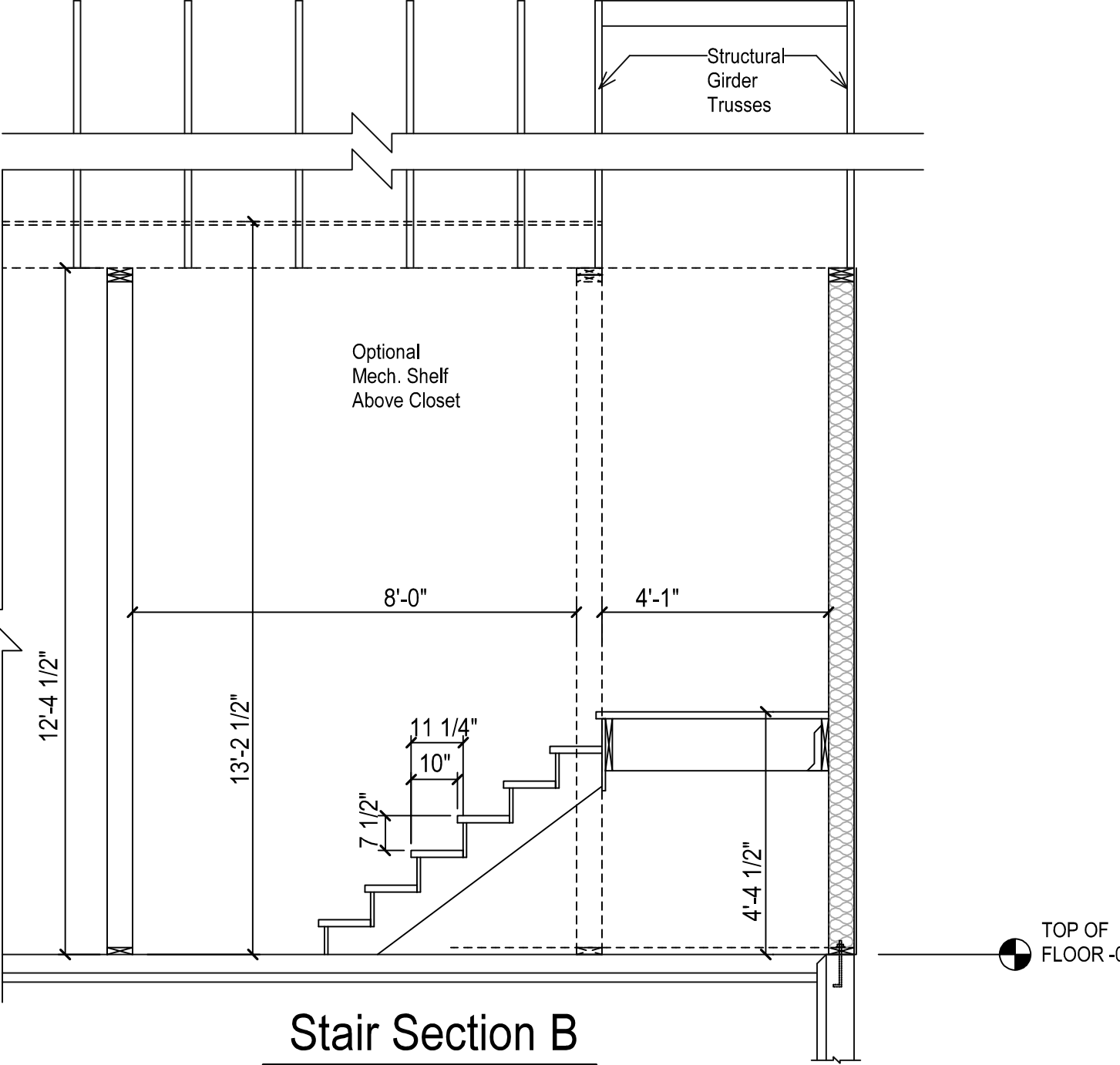
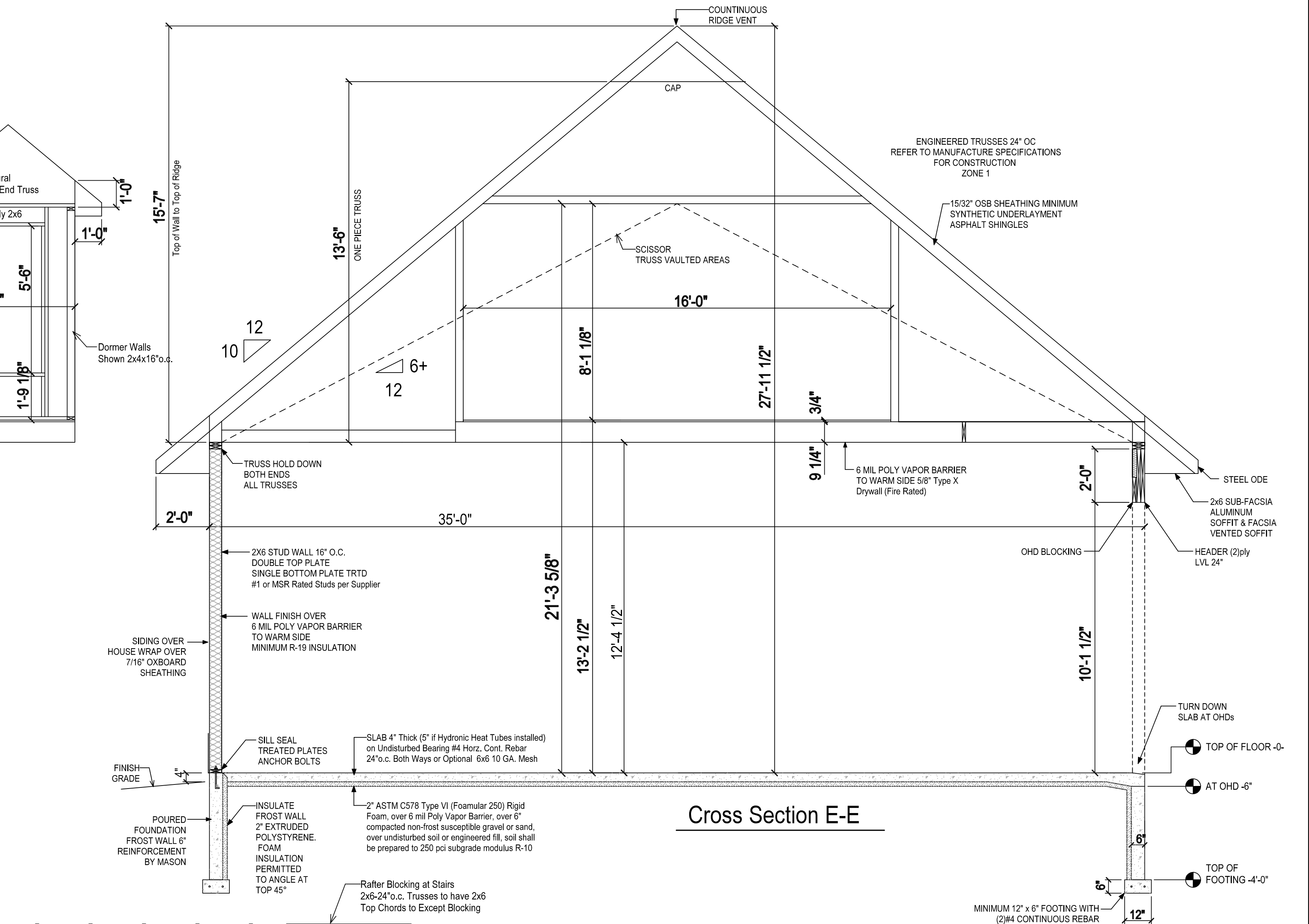
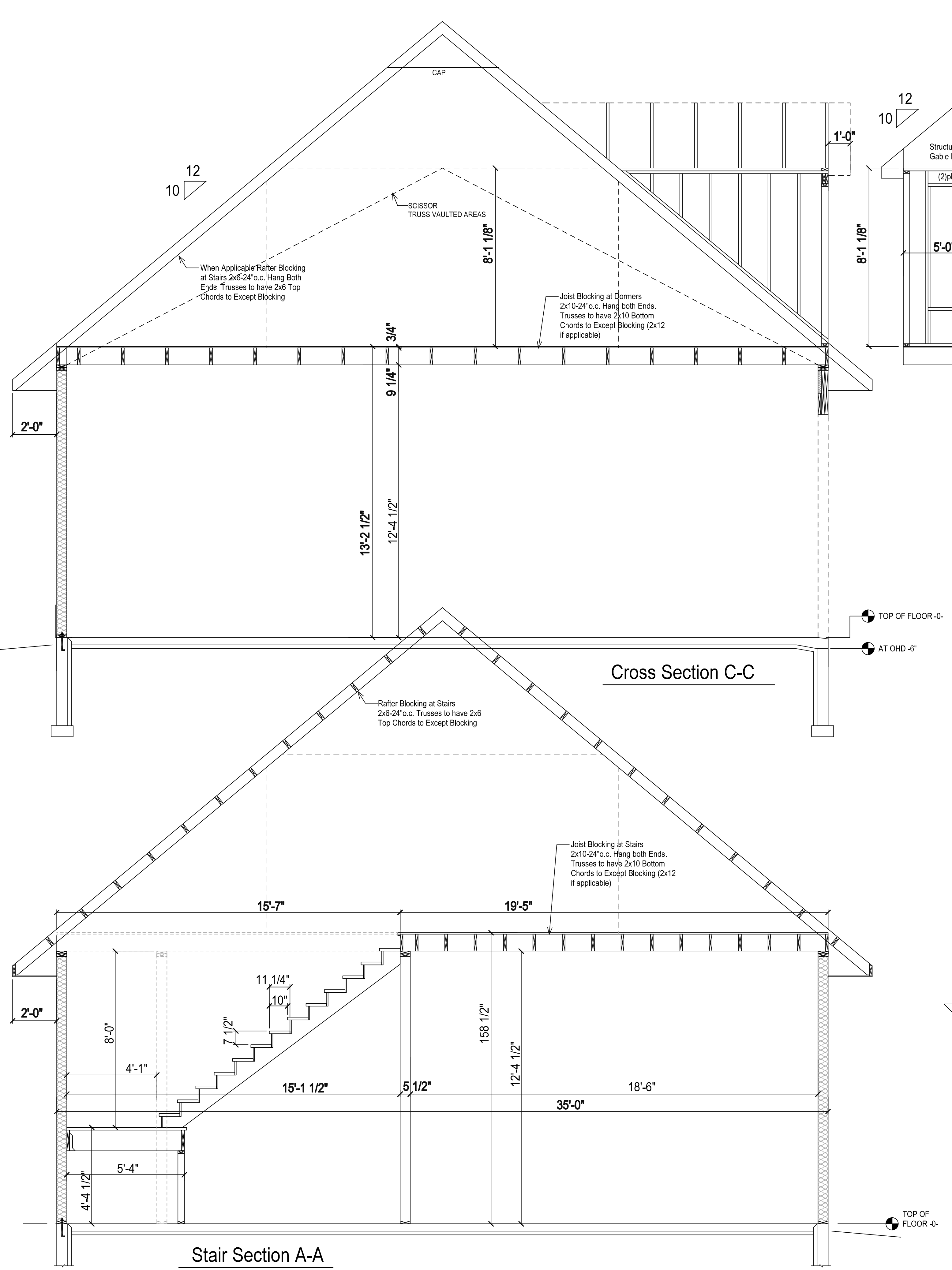
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1/4" = 1'-0"
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PAGE
4 OF 5

MINIMUM FASTENER SCHEDULE TABLE

Other interior and exterior panel products and finishes installed per manufacturer requirements. For engineered connectors, use manufacturer's specified fasteners.

Description of Building Materials/Connection	Number and Type of Fastener ^{1 2 3}		
Floor Framing			
Joist to joist, face nailed over support	3-8d		
Joist to sill or girder, toe nail	3-8d		
Band or rim joist to joist, end nail	3-16d		
Band or rim joist to sill or top plate	2-16d at 16" o.c.		
Bridging to joist, toe nail each end	2-8d		
Built-up girder and beams, top loaded	10d at 32" o.c. at top and bottom and staggered and two at ends and at each splice		
Built-up girder and beams, side-loaded	16d at 16" o.c. at top and bottom and staggered and two at ends and at each splice		
Ledger strip to beam, face nail	3-16d each joist		
Joist on ledger to beam, toe nail	3-8d		
Wall Framing			
Sole plate to joist or blocking, face nail	2-16d at 16" o.c.		
Top or sole plate to stud, end nail	2-16d		
Stud to sole plate, toe nail	3-8d or 2-16d		
Doubled studs, face nail	10d at 24" o.c.		
Doubled top plates, face nail	10d at 24" o.c.		
Doubled top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d		
Top plates, laps and intersections, face nail	2-10d		
Continuous header, two pieces	16d at 16" o.c. along each edge		
Continuous header to stud, toe nail	4-8d		
1" corner brace to each stud and plate, face nail	2-8d or 2 staples, 1 3/4"		
Built-up corner studs	10d at 24" o.c.		
Roof/Ceiling Framing			
Ceiling joists to plate, toe nail	3-8d		
Ceiling joist, laps over partitions, face nail	3-10d		
Ceiling joist to parallel rafters, face nail	3-16d		
Rafter to plate, toe nail (maximum 6 rafter span, engineered connector for longer)	2-16d		
Roof rafters to ridge, valley or hip rafters, toe nail	4-16d		
Roof rafters to ridge, valley or hip rafters, face nail	3-16d		
Collar ties to rafters, face nail	3-8d		
Boards and planks			
1" x 6" subfloor or less to each joist, face nail	2-8d or 2 staples, 1 3/4"		
Wider than 1" x 6" subfloor toe to each joist, face nail	3-8d or 4 staples 1 3/4"		
2" subfloor to joist or girder, blind and face nail	2-16d		
1" x 6" roof or wall sheathing to each bearing, face nail	2-8d or 2 staples, 1 3/4"		
1" x 8" roof or wall sheathing to each bearing, face nail	2-8d or 3 staples, 1 3/4"		
Wider than 1" x 8" roof sheathing to each bearing, face nail	3-8d or 4 staples, 1 3/4"		
2" planks	2-16d at each bearing		
Panel Sheathing			
Material	Fastener	Spacing of Fastener	
		Edges	Intermediate Supports
Engineered wood panel for subfloor and roof sheathing and wall corner wind bracing to framing			
5/16" to 1/2"	6d common or deformed nail or staple, 1 1/2"	6"	12" ⁴
5/8" to 3/4"	8d smooth or common, 6d deformed nail, or staple, 1 1/4" ga. 1 3/4"	6"	12" ⁴
7/8" to 1"	8d common or deformed nail	6"	12"
1 1/8" to 1 1/4"	10d smooth or common, or 8d deformed nail	6"	12"
Combination subfloor/ underlayment to framing			
3/4" or less	6d deformed or 8d smooth or common nail	6"	12"
7/8" to 1"	8d smooth, common or deformed nail	6"	12"
1 1/8" to 1 1/4"	10d smooth or common or 8d deformed nail	6"	12"
Wood panel siding to framing			
1/2" or less	6d corrosion-resistant siding and casing nails	6"	12"
5/8"	8d corrosion-resistant siding and casing nails	6"	12"
1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail; 8d common nail; staple 16 ga., 1 1/2" long	3"	6"
25/32" structural cellulose fiberboard sheathing	1 3/4" galvanized roofing nail; 8d common nail; staple 16 ga., 1 1/4" long	3"	6"
1/2" gypsum sheathing ⁵	1 1/2" galvanized roofing nail; 6d common nail; staple galvanized 1 1/2" long; 1 1/4" screws, Type W or S	4"	8"
5/8" gypsum sheathing ⁵	1 3/4" galvanized roofing nail; 8d common nail; staple galvanized 1 3/8" long; 1 3/8" screws, Type W or S	7"	7"

GENERAL CROSS SECTION NOTES:

SPS 321.07 Attic and crawl space access. (1) ATTIC. Attics with 150 or more square feet of area and 30 or more inches of clear height between the top of the ceiling framing and the bottom of the rafter or top truss chord framing shall be provided with an access opening of at least 14 by 24 inches, accessible from inside the structure.

- All Details for Reference Only. Final Construction Details by Suppliers.
- FOAM PLASTIC INSULATION.
 - Exterior foam plastic insulation shall be protected from physical damage and damage from ultraviolet light with a permanent, opaque, weather resistant covering or coating.
 - The protective covering shall cover the exposed exterior insulation and extend a minimum of 2 inches below grade, except the covering is not required below a brick ledge.

SPS 321.08 Fire separation and dwelling unit separation.

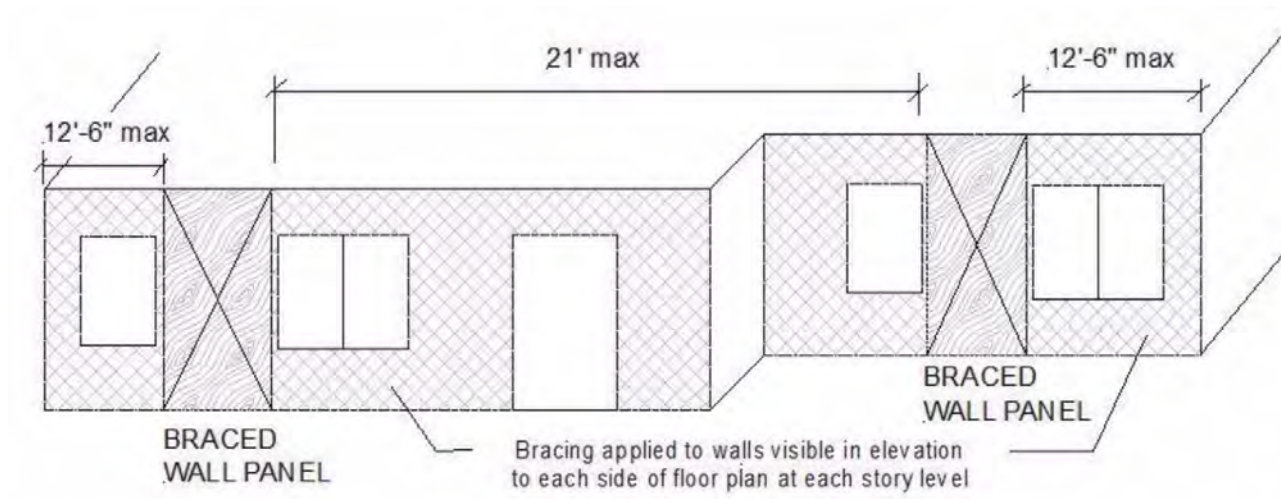
- Attached garages. 1. The walls and ceiling between an attached garage and any portion of the dwelling, including attic or soffit areas, shall be 3/4 hour fire resistive construction or shall be constructed as specified in any of the following:
 - One layer of 5/8 inch Type X gypsum drywall shall be used on the garage side of the separation wall or ceiling.
 - One layer of 1/2 inch gypsum drywall shall be used on each side of the separation wall or ceiling.
 - Two layers of 1/2 inch gypsum drywall shall be used on the garage side of the separation wall or ceiling.
 - For all methods listed under subd. 1., drywall joints shall comply with one of the following:
 - Joints shall be taped or sealed.
 - Joints shall be fitted so that the gap is no more than 1/20 inch with joints backed by either solid wood or another layer of drywall such that the joints are staggered.
- Note: 1/20 inch is approximately the thickness of a U.S. dime.
- Vertical separations between an attached garage and a dwelling shall extend from the top of a concrete or masonry foundation to the underside of the roof sheathing or fire resistive ceiling construction.

Adjacent to Braced Wall Panel	(inches)			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
5'-4"	24	27	30	36
6"-8"	32	30	30	36
8"	48	41	38	36
9"	-	54	46	41
10"	-	-	60	48
12"	-	-	-	72

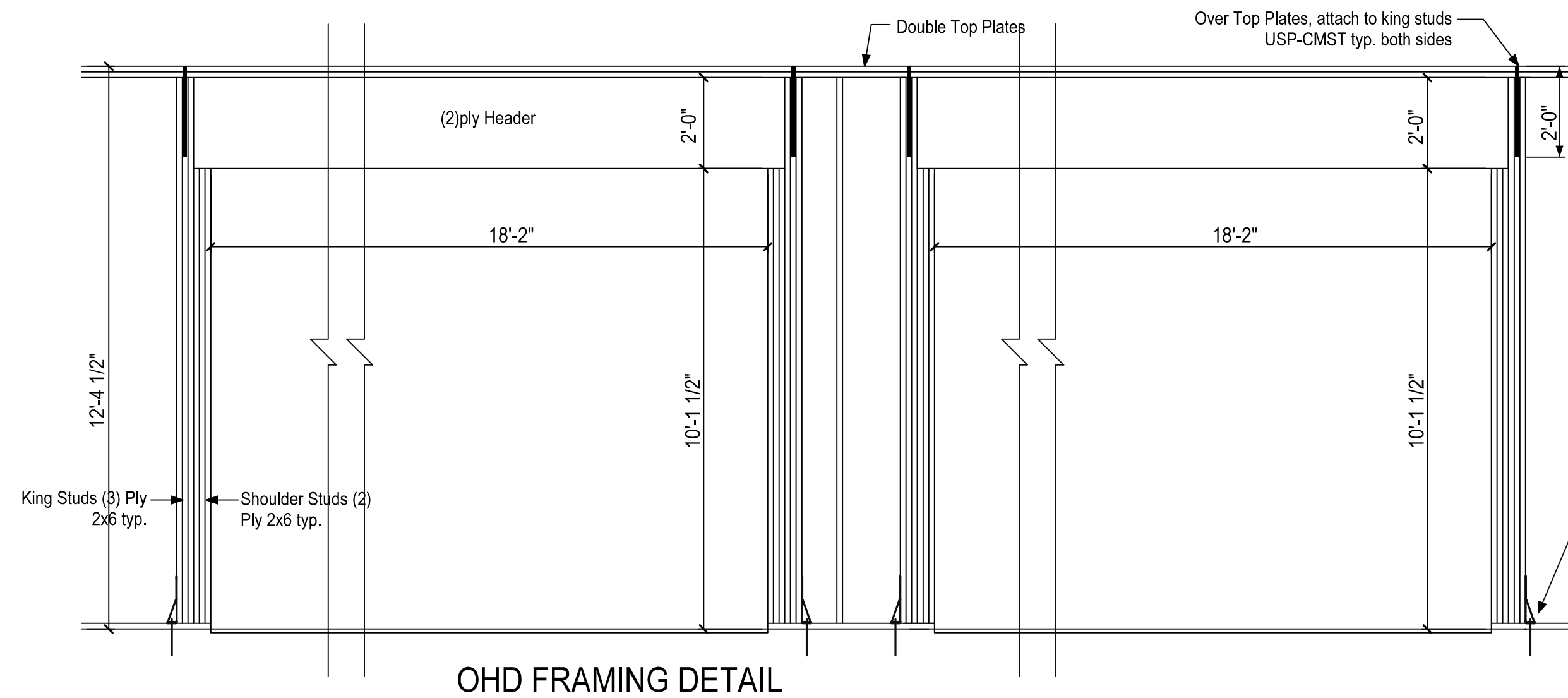
⁵Sheathing shall extend from the top of the top plate to the bottom of the bottom plate and may be multiple sheets. All joints shall be blocked.

⁶Interpolation is permitted.

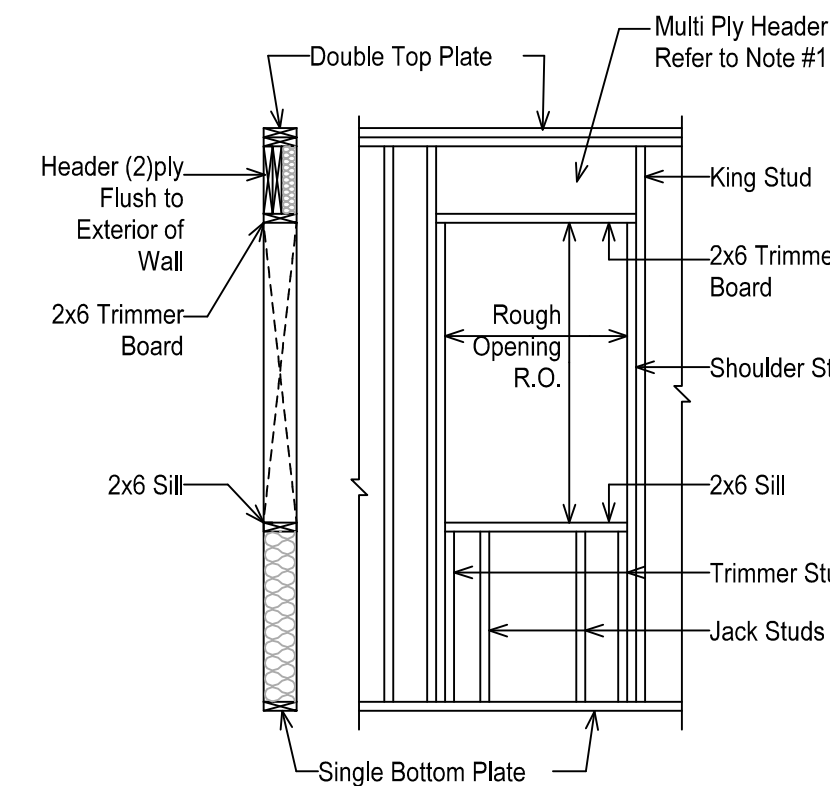
MINIMUM WIDTHS OF CS-WSP AND CS-SFB BRACED WALL PANELS



LOCATION OF BRACED WALL PANELS DETAIL

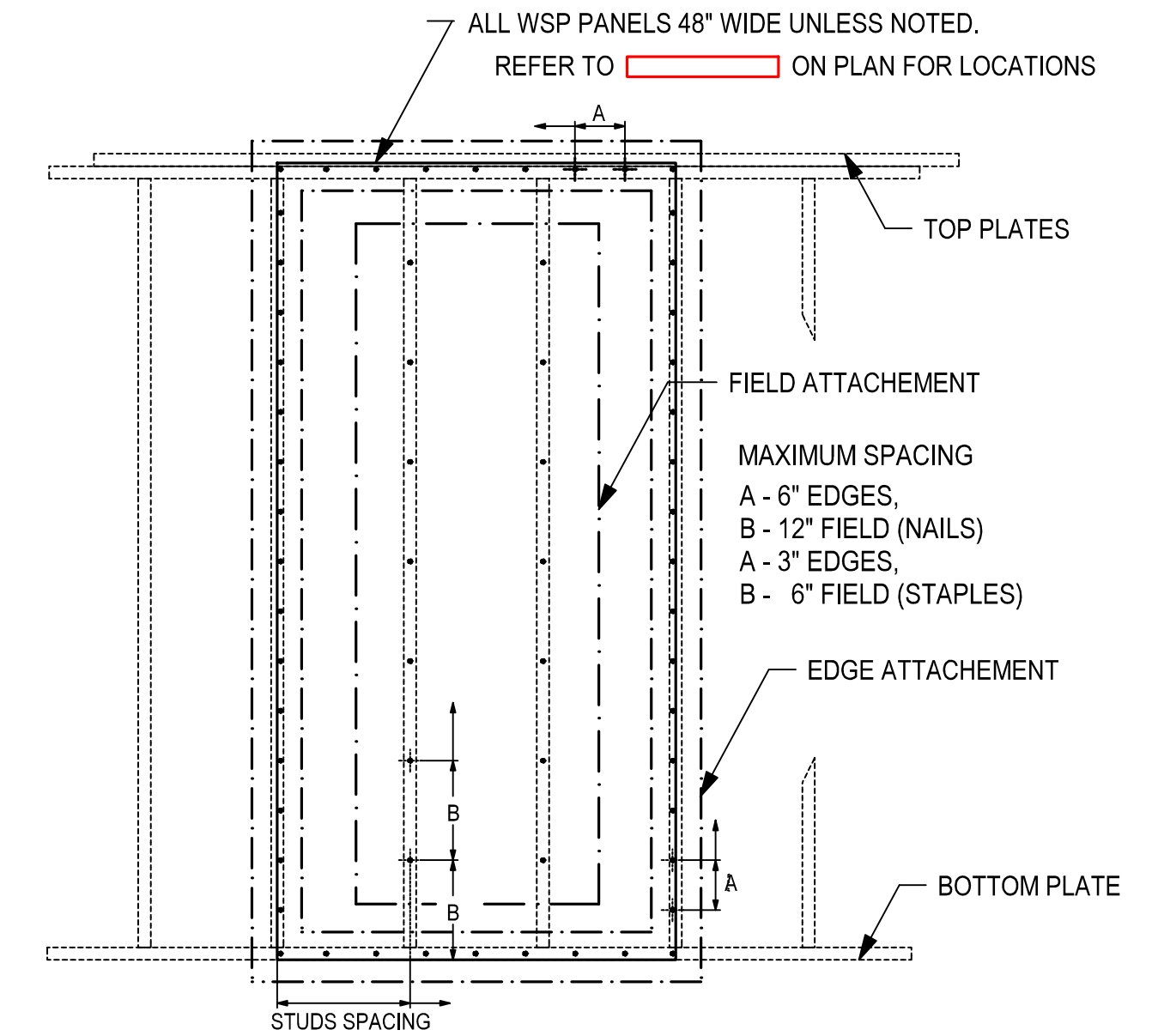


OHD FRAMING DETAIL



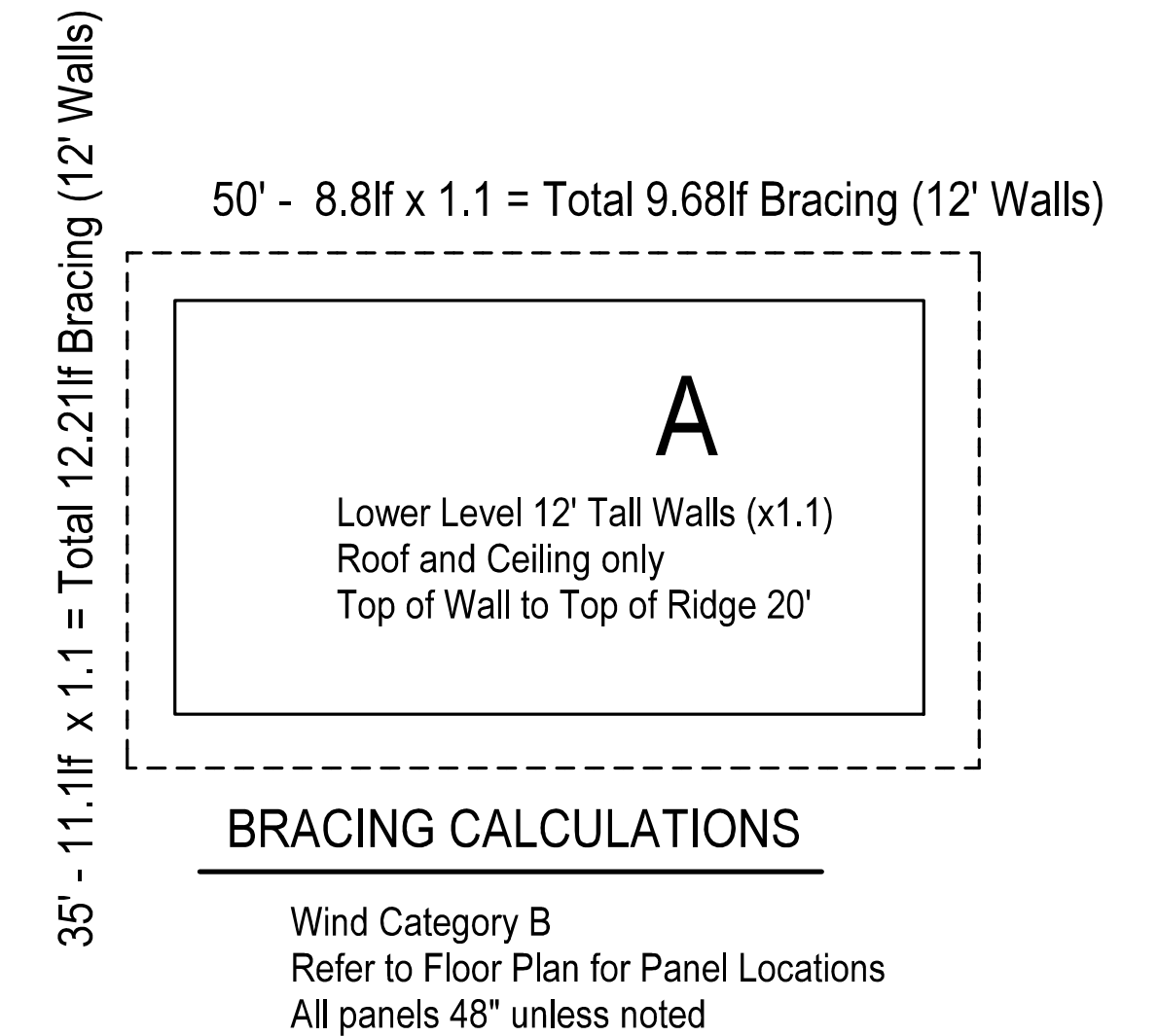
TYPICAL HEADER DETAIL

- Headers consisting of multiple plies shall be stitched together with 3" nails, spaced 2" o.c. vertically & 12" o.c. horizontally, unless otherwise noted elsewhere.
- All headers in by supplier



WOOD STRUCTURAL PANEL NAILING DETAIL

WOOD STRUCTURAL PANELS (WPS)
 3/8" FOR MAXIMUM 16" o.c. STUD SPACING.
 7/16" FOR MAXIMUM 24" o.c. STUD SPACING.
 SHEATHING WITH ALL EDGES FASTENED TO FRAMING OR BLOCKING IN ACCORDANCE WITH THE APPROPRIATE FASTENERS.
 MINIMUM FASTENERS
 6d COMMON NAIL or 8d BOX NAIL (2 1/2" LONG x 0.113" DIAMETER) or 7/16" CROWN 16 GAGE STAPLES, 1 1/4" LONG
 Sheathing shall extend from the top of the top plate to the bottom of the bottom plate and may be multiple sheets. All joints shall be blocked with 2x material.



BRACING CALCULATIONS

Wind Category B
 Refer to Floor Plan for Panel Locations
 All panels 48" unless noted

HTT4 HOLD DOWN

Simpson HTT4 Hold Down at each (2) ply 4'-0" o.c., fasten to concrete with 5/8"x8" Simpson Titen HD Screw Anchors

Final Plans Approved by Client

Sign: _____ Date: _____

¹ All nails are smooth-common, box or deformed shank except where otherwise stated.
² Nail is a general description and may be T-head, modified round head or round head.
³ Staples are 16-gauge wire, unless otherwise noted, and have a minimum 7/16" o.d. crown width.
⁴ Staples shall be spaced at not more than 10" o.c. at intermediate supports for floors.

WOODBURY CUSTOM HOMES 1951 Woodbury Parkway, Wausau, WI 54403 Amanda 715-212-3643, Sam 715-302-4124 woodburycustomhomes.com	JOB NAME MURCH GARAGE	LEGAL NOTE: THE GENERAL CONTRACTOR / OWNER AGREE THAT, BY PAYING FOR THIS PLAN, THE DESIGNER HAS MADE EVERY EFFORT IN PREPARING AND CHECKING THE PLAN FOR ACCURACY. IT IS ALSO AGREED THAT THE GENERAL CONTRACTOR / OWNER MUST REVIEW ALL DIMENSIONS AND STRUCTURAL DETAILS BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.	DATE: 12/16/2025	SCALE: 3/8" = 1'-0" UNLESS NOTED	PAGE 5 OF 5
		PROJECT #: _____	DRAWN BY: JB		